

ANALYSIS

HUMBERTO & TALIA SEZUMAGA VPB-13-008



Village of Palmetto Bay
FLORIDA

ZONING ANALYSIS

APPLICANT: Humberto & Talia Sezumaga PH: VPB-13-008
ADDRESS: 8130 SW 138th Street ZIP: 33158
SECTION: 22-55-40 HEARING DATE: May 20th, 2013
COUNCIL DISTRICT: 1 ITEM: 3

A. GENERAL INFORMATION

REQUEST: Pursuant to Section 30-30.6 of the Village of Palmetto Bay's Land Development Code (LDC), the applicants are requesting a variance of setback requirements to permit an addition within the setbacks on a parcel zoned E-M.

ADDRESS: 8130 SW 138th Street

FOLIO: 3350220070140

SIZE OF LOT: 15,417 sq. ft.

B. BACKGROUND

The applicants are requesting a variance of setback requirements to permit bedroom additions to an existing single-family home to setback 22.5' where 25' is required from the (west) side street property line on a parcel zoned Estate Modified Single-Family District (E-M). The subject property is a corner lot, consisting of a single-family three bedroom, two bath home built in 1960 and located within the Green Briar Acres Subdivision. The applicants wish to remodel and increase the existing square footage of the home from 2,211 sq. ft. to 4,292 sq. ft. to accommodate the family's needs. The applicants have obtained signatures in support of the variance request from the adjacent property owners, which are attached to this report.

C. ZONING HEARING HISTORY

On April 24th, 1958 the Board of Dade County Zoning Commission via resolution No. 1327 approved the applicants' request a for subdivision water pumping station and storage tank with conditions.

In 2010 the Village created its Land Development Code and comprehensive zoning map, and re-designated the property as E-M, Estate Modified Single-Family District.

D. NEIGHBORHOOD CHARACTERISTICS

ZONING

FUTURE LAND USE DESIGNATION

Subject Property:

E-M; Estate Modified Single-Family District	Estate Density Residential (EDR) Less than 2.5 D.U. per gross acre
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Surrounding Properties

NORTH:	E-M; Estate Modified Single-Family District	Estate Density Residential (EDR) Less than 2.5 D.U. per gross acre
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SOUTH:	E-M; Estate Modified Single-Family District	Estate Density Residential (EDR) Less than 2.5 D.U. per gross acre
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EAST:	E-M; Estate Modified Single-Family District	Estate Density Residential (EDR) Less than 2.5 D.U. per gross acre
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WEST:	E-M; Estate Modified Single-Family District	Estate Density Residential (EDR) Less than 2.5 D.U. per gross acre
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E. SITE AND BUILDINGS

Site Plan Review:	Not-Acceptable
Scale/Utilization of Site:	Not-Acceptable
Location of Building(s):	Not-Acceptable
Compatibility:	Not-Acceptable
Landscape Treatment:	Not-Acceptable
Open Space:	Acceptable
Buffering:	Not-Acceptable
Access:	Acceptable
Visibility/Visual Screening:	Not-Acceptable

F. ANALYSIS

The following is a review of the request pursuant to variance criteria at Section 30-30.6(e) of the Land Development Code. The Background Section of this report is hereby incorporated into this analysis and its corresponding criteria by reference.

Criteria 1 That the variance is in fact a variance allowed in this Division and is within the province of Village Council.

Analysis: Pursuant to Section 30-30.6(b) of the Code, a variance is authorized to be granted by the Village Council, after a quasi-judicial public hearing, only for setback lines; lot width; street frontage; lot depth; lot coverage; landscape or open space requirements; height limitations; yard regulations; fence and wall regulations; signs; parking; and flood regulations approved under Section 30-100.6, of the Code. The request is for a modification of setback standards, and therefore the Department finds that the applicants may request a variance as allowed under the division.

Finding: Consistent

Criteria 2 Existence of special conditions or circumstances. That special conditions and circumstances exist which are peculiar to the land, structure, or building involved and which are not applicable to other lands, structures, or buildings in the same zoning district.

Analysis: The property is a legally platted parcel located within the Green Briar Acres Subdivision. The property complies with the minimum lot size requirements for the zoning district and is of typical rectangular configuration. Staff notes that while the applicants have a special desire to accommodate their family's needs, there are no special conditions or circumstances which are peculiar to the land or existing structures on site.

Finding: Inconsistent

Criteria 3 That the special conditions and circumstances do not result from the actions of the applicant.

Analysis: The Department finds no special condition's contained on the site or in its configuration, which site is a legally platted, conforming parcel. The applicants have the option of adding a second floor addition or they may reconfigure or reduce the size of the proposed home without seeking a variance.

Finding: Inconsistent

Criteria 4 That granting of the variance requested will not confer on the applicants any special privilege that is denied by Chapter 30 to other lands, buildings, or structures in the same zoning district.

Analysis: Granting the request will give the applicants a special privilege by allowing them to extend the principle structure into the setback by 2.5' as compared to the adjacent homes in the immediate neighborhood. The homes fronting SW 82nd Avenue have all been constructed with a 25' or greater setback. These homes along the avenue face the area into which the applicants request to encroach.

Finding: Inconsistent

Criteria 5 Financial difficulties or economic hardship shall not be a factor for determining whether a variance should be granted.

Analysis: Financial or economic hardships may not be considered in reviewing this application. No financial argument was offered.

Finding: Consistent

Criteria 6 That literal interpretation of the provisions of Chapter 30 would deprive the applicants of rights commonly enjoyed by other properties in the same zoning district under the terms of Chapter 30 and would work unnecessary and undue hardship on the applicant. The purchase of property which has an illegal nonconformity with Chapter 30 shall not be considered a hardship for the granting of a variance, nor shall conditions peculiar to the property owner be considered.

Analysis: The property meets all zoning requirements as to lot size, depth, frontage etc. There is no evidence that the current use would result in an unnecessary hardship as there is no nonconformity, nor any physical limitations to the land. The applicants are entitled to construct and or remodel a single family home within the permitted code provisions.

Finding: Inconsistent

Criteria 7 That the variance granted is the minimum variance that will make possible the reasonable use of the land, building, or structure.

Analysis: The applicants wish to encroach into the side street setback back by 2.5'. The property owner could remodel and reconfigure the additions to the single-family home within the allowable setbacks without a variance. To

construct anything beyond the setbacks would be contrary to the requirements enjoyed by others in the immediate neighborhood.

Finding: Inconsistent

Criteria 8 That the grant of the variance will be in harmony with the general intent and purpose of the Comprehensive Plan and Chapter 30, and that the variance will not be injurious to the area involved or otherwise detrimental to the public welfare.

Analysis: The request may not be considered in harmony with the general intent and purpose of the Comprehensive Plan because the setbacks of the proposed addition to the single-family home will not be compatible with the existing setbacks of the single-family homes in the surrounding neighborhood.

Finding: Inconsistent

Criteria 9 In granting any variance, Village Council may prescribe appropriate conditions to mitigate the proposed variance and to ensure safeguards in conformity with the Comprehensive Plan and Chapter 30 or any other duly enacted ordinance. Violation of conditions and safeguards, when made a part of the terms under which the variance is granted, shall be deemed a violation of this chapter and shall nullify the variance development approval.

Analysis: The intent of this criterion is to provide the Council with an opportunity to recommend any conditions based on their evaluation and understating of the technical and non-technical aspects of the application. Should the Mayor and Council be inclined to approve the request with conditions they should provide clear guidance to mitigate the potential impacts created by the proposed variances. In addition, the Council can recommend conditions to ensure compliance with the Comprehensive Plan, Chapter 30 of the LDC or any duly enacted ordinance. The Council's conditions are intended to provide conditions that would augment or revise the conditions that may be proposed by the Planning & Zoning Department.

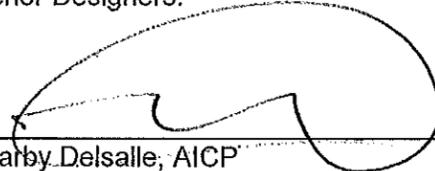
Finding: As per direction of the Mayor and Council.

G. NEIGHBORHOOD SERVICES

Code Compliance	No Objection
DERM	Required
Building and Capital Projects	Required
Public Works	Required
Art-in-Public Places	Not Applicable
Historic Preservation	Not Applicable

J. RECOMMENDATION

Pursuant to Section 30-30.6 of the Code, staff recommends denial of the plans entitled "Sezumaga Residence" at 8130 SW 138th Street, Miami, FL 33158" consisting of six sheets dated stamped received April 4th, 2013, as prepared by Chisholm Architects –Planners-Interior Designers.



Darby Delsalle, AICP
Director of the Department of Planning & Zoning

APPLICATION

HUMBERTO & TALIA SEZUMAGA VPB-13-008

April 2, 2013

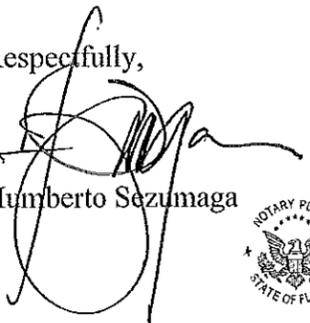
Department of Planning and Zoning
Village of Palmetto Bay
9705 East Hibiscus Street
Palmetto Bay, FL. 33157

RE: **Letter of Intent**
Non-Use Variance of Setback Requirements/ 8130 SW 138 Street

Honorable Zoning Administrator,

We are proposing the remodel of the existing residence, as well as adding 1786 sqft. to the home. For this addition we would need a non-use variance setback adjustment to the west side of the property line from the current 25 Ft. to 22.5 Ft. This will allow the construction of four additional rooms, which not only will accommodate our family of five, but will also considerably increase the value of the property, as well as the value of neighboring homes.

Respectfully,


Humberto Sezumaga



LISANDRA NUNEZ
MY COMMISSION # DD 938531
EXPIRES: November 8, 2013
Bonded Through Budget Notary Services



RECEIVED
Zoning Department

April - 4 - 13

Village of Palmetto Bay
Building & Zoning Department

By: 

RECEIVED
Zoning Department
April 4 13
Village of Palmetto Bay
Building & Zoning Department
By *[Signature]*

April 2, 2013

Department of Planning and Zoning
Village of Palmetto Bay
9705 East Hibiscus Street
Palmetto Bay, FL. 33157

RE: **Non-Use Variance of Setback Requirement/ 8130 SW 138 Street**

Honorable Zoning Administrator,

This letter is to request a non-use variance of setback requirement to allow for the construction of (4) rooms with a total square footage of 1,786. Requested setback is from the interior side (west) property line 22.5 Ft. where the current requirement is 25 Ft. Proposed construction is an addition to an existing single family home located in the E-M residential district.

Respectfully,

[Signature]
Humberto Sezumaga



LISANDRA NUNEZ
MY COMMISSION # DD 938531
EXPIRES: November 8, 2013
Bonded Thru Budget Notary Services

[Signature]



SEC: ___ TWP: ___ RGE: ___

RECEIVED
Zoning Department

March April 4, 13

ZONING HEARING (ZH) APPLICATION
Village of Palmetto Bay, Department of Planning and Zoning

LIST ALL FOLIO #S: 3350220070140 Date Received By: [Signature]

1. NAME OF APPLICANT (Owner(s) of record of the property or lessee. If applicant is a lessee, an executed 'Owner's Sworn-to-Consent' and copy of a valid lease for 1 year or more is required. If the applicant is a corporation, trust, partnership, or like entity, a 'Disclosure of Interest' is required).
HUMBERTO & TALIA SEZUMACA

2. APPLICANT'S MAILING ADDRESS, TELEPHONE NUMBER:
Mailing Address: 9710 SW 72 CT.
City: PINECREST State: FL. Zip: 33156 Phone#: 305.762.2950

3. OWNER'S NAME, MAILING ADDRESS, TELEPHONE NUMBER:
Owner's Name (Provide name of ALL owners): SAME AS ABOVE
City: _____ State: _____ Zip: _____ Phone#: _____

4. CONTACT PERSON'S INFORMATION:
Name: Company: HUMBERTO SEZUMACA
City: _____ State: FL. Zip: 33156 Cell Phone#: 305.762.2950
Phone#: 305.225.8100 Fax#: 3.224.7900 E-mail: PERISEZ@YAHOO.COM

5. LEGAL DESCRIPTION OF ALL PROPERTY COVERED BY THE APPLICATION
(Provide complete legal description, i.e., lot, block, subdivision name, plat book & page number, or metes and bounds. Include section, township, range. If the application contains multiple rezoning requests, a legal description for each requested zone must be provided. Attach separate sheets as needed and clearly label (Identify) each legal description attached. In addition to paper version it is requested that lengthy metes and bounds descriptions be provided on diskette or compact disc in Microsoft Word or compatible software.)

14 BLK 4 LOT BRIAR ACRES
22 55 40 PB 67-67 GREEN

6. ADDRESS OR LOCATION OF PROPERTY (For location, use description such as NE corner of, etc.)
8130 SW. 138TH STREET

7. SIZE OF PROPERTY (in acres): 0.35 (divide total sq. ft. by 43,560 to obtain acreage)

8. DATE property acquired leased: _____ 9. Lease term: _____ years
(month & year)

10. IS CONTIGUOUS PROPERTY OWNED BY THE SUBJECT PROPERTY OWNER(S)? yes no If yes, provide complete legal description of said contiguous property.

11. Is there an option to purchase or lease the subject property or property contiguous thereto? no yes (If yes, identify potential purchaser or lessee and complete 'Disclosure of Interest' form)

12. PRESENT ZONING CLASSIFICATION: _____

13. APPLICATION REQUESTS (Check all that apply and describe nature of the request in space provided)

District Boundary(zone) Changes [Zone(s) requested]: _____
(Provide a separate legal description for each zone requested)

Unusual Use: _____

Use Variance: _____

Non-Use Variance: OF CITY COUNCIL REQUIREMENT OF 22.5' WHERE 25' IS REQUIRED.

Alternative Site Development: Option: _____

Special Exception: _____

Modification of previous resolution/plan: _____

Modification of Declaration or Covenant: _____

14. Has a public hearing been held on this property within the eighteen (18) months? no yes.
If yes, provide applicant's name, date, purpose and result of hearing, and resolution number:

15. Is this application a result of a violation notice? no yes. If yes, give name to whom the violation notice was served: and describe the violation:

16. Describe structures on the property: 2000 SQ FT. SINGLE FAMILY RES.

17. Is there any existing use on the property? no yes. If yes, what use and when established?

Use: RESIDENTIAL Year: _____

Planning Staff Use Only

Base Fee	Reviewed and Accepted by	Date
Receipt No.	Deemed Complete By	Date

APPLICANT'S AFFIDAVIT

The Undersigned, first being duly sworn depose that all answers to the questions in this application, and all supplementary documents made a part of the application are honest and true to the best of (my)(our) knowledge and belief. (I)(We) understand this application must be complete and accurate before the application can be submitted and the hearing advertised.

OWNER OR TENANT AFFIDAVIT

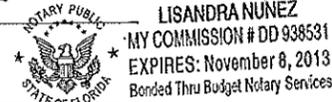
(I)(WE), HUMBERTO & TALIA SEZUMAGA, being first duly sworn, depose and say that (I am) (we are) owner tenant of the property described and which is the subject matter of the proposed hearing.

Signature

Sworn to and subscribed to before me this _____ day of _____, _____.

Signature

Notary Public: _____
Commission Expires: _____



CORPORATION AFFIDAVIT

(I) (WE), _____, being first duly sworn, depose and say that (I am) (we are) the President Vice-President Secretary Asst. Secretary of the aforesaid corporation, and as such, have been authorized by the corporation to file this application for public hearing; and that said corporation is the owner tenant of the property described herein and which is the subject matter of the proposed hearing.

Attest: _____

Authorized Signature

Office Held

(Corp. Seal)

Sworn to and subscribed to before me This _____ day of _____, _____.

Notary Public: _____
Commission Expires: _____

PARTNERSHIP AFFIDAVIT

(I)(WE), _____, being first duly sworn, depose and say that (I am) (we are) partners of the hereinafter named partnership, and as such, have been authorized to file this application for a public hearing; and that said partnership is the owner tenant of the property described herein which is the subject matter of the proposed hearing.

By _____ %

By _____ %

By _____ %

By _____ %

Sworn to and subscribed to before me This _____ day of _____, _____.

Notary Public: _____
Commission Expires: _____

ATTORNEY AFFIDAVIT

I, _____, being first duly sworn, depose and say that I am a State of Florida Attorney at Law, and I am Attorney for the Owner of the property described and which is the subject matter of the proposed hearing.

Signature

Sworn to and subscribed to before me This _____ day of _____, _____.

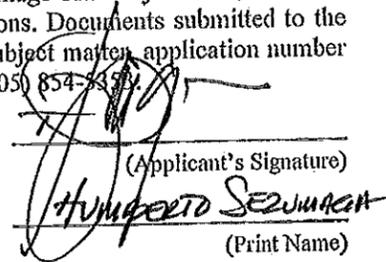
Notary Public: _____
Commission Expires: _____

✓

RESPONSIBILITIES OF THE APPLICANT AFFIDAVIT

I AM AWARE THAT:

1. The Public Works Department, the Department of Environmental Resources Management (DERM), and other County agencies review and critique zoning hearing applications which may affect the scheduling and outcome of my hearing. These reviews may require additional hearings before DERM's Environmental Quality Control Board (EQCB), or other County boards, and/or the proffering of agreements to be recorded. I am also aware that I must comply promptly with any DERM or Public Works conditions and advise this office in writing if my application will be withdrawn.
2. Filing fees may not be the total cost of a hearing. Some requests require notices to be mailed to property owners up to a mile from the subject property and I am responsible for paying the additional radius mailing costs. In addition to mailing costs, I am responsible for additional fees related to application changes, plan revisions, deferrals, re-advertising, etc., that may be incurred. I understand that fees must be paid promptly. Applications withdrawn within 60 days of the filing are eligible for a refund of 50% of the hearing fee but after that time hearings withdrawn or returned will be ineligible for a refund. Refunds must be requested in writing.
3. The Florida Building code requirements may affect my ability to obtain a building permit even if my zoning application is approved; and a building permit will probably be required. I am responsible for obtaining any required permits and inspections for all structures and additions proposed, or built without permits. And that a Certificate of Use (C.U.) must be obtained for the use of the property after it has been approved at Zoning Hearing. Failure to obtain the required permits and/or C.U., Certificates of Completion (C.C.) or Certificate of Occupancy (C.O.) will result in enforcement action against any occupant and owner. Submittal of the Zoning Hearing application may not forestall enforcement action against the property.
4. The 3rd District Court of Appeal has ruled that zoning applications inconsistent with the Comprehensive Plan (CP) cannot be approved by a zoning board based upon considerations of fundamental fairness. Therefore, I acknowledge that if the hearing request is inconsistent with the CP and I decide to go forward then my hearing request can only be denied or deferred, but not approved.
5. Any covenant to be proffered must be submitted to the Village Attorney, on County form, at least 1 month prior to the hearing date. The covenant will be reviewed and the applicant will be notified if changes or corrections are necessary. Once the covenant is acceptable, the applicant is responsible to submit the executed covenant with a current 'Opinion of Title' within 1 week of the hearing. Village Attorney can advise as to additional requirements applicable to foreign corporations. Documents submitted to the Village Attorney must carry a cover letter indicating subject matter, application number and hearing date. Village Attorney may be reached at (305) 854-3350.


(Applicant's Signature)

HUMBERTO SEQUEIRA
(Print Name)

Sworn to and subscribed before me this 2 day of April, 2013. Affiant is personally known to me or has produced _____ as identification.

(Notary Public)

My commission expires



LISANDRA NUNEZ
MY COMMISSION # DD 938531
EXPIRES: November 8, 2013
Borded Thru Budget Notary Services

OWNERSHIP AFFIDAVIT
FOR
INDIVIDUAL

STATE OF FLORIDA
COUNTY OF DABE

Public Hearing No. _____

Before me, the undersigned authority, personally appeared HUMBERTO SEZUMACA
hereinafter the Affiant, who being first duly sworn by me, on oath, deposes
and says:

1. Affiant is the fee owner of the property that is the subject of the proposed hearing.
2. The subject property is legally described as:
14 BLK 4 LOT BRIAR ACRES
22 SS 40 PO 67-67 GREEN
8130 SW 138TH STREET
3. Affiant understands this affidavit is subject to the penalties of law for perjury and the possibility of voiding of any zoning granted at public hearing.

Witnesses:

Signature

[Signature]
Affiant's signature

Print Name

HUMBERTO SEZUMACA
Print Name

Signature

Print Name

Sworn to and subscribed before me on the 2 day of APRIL 2013.

Affiant is personally known to me or has produced _____ as identification.

Notary



LISANDRA NUNEZ
MY COMMISSION # DD 938531
EXPIRES: November 8, 2013
Bonded Thru Budget Notary Services

(Stamp/Seal)

Commission Expires:

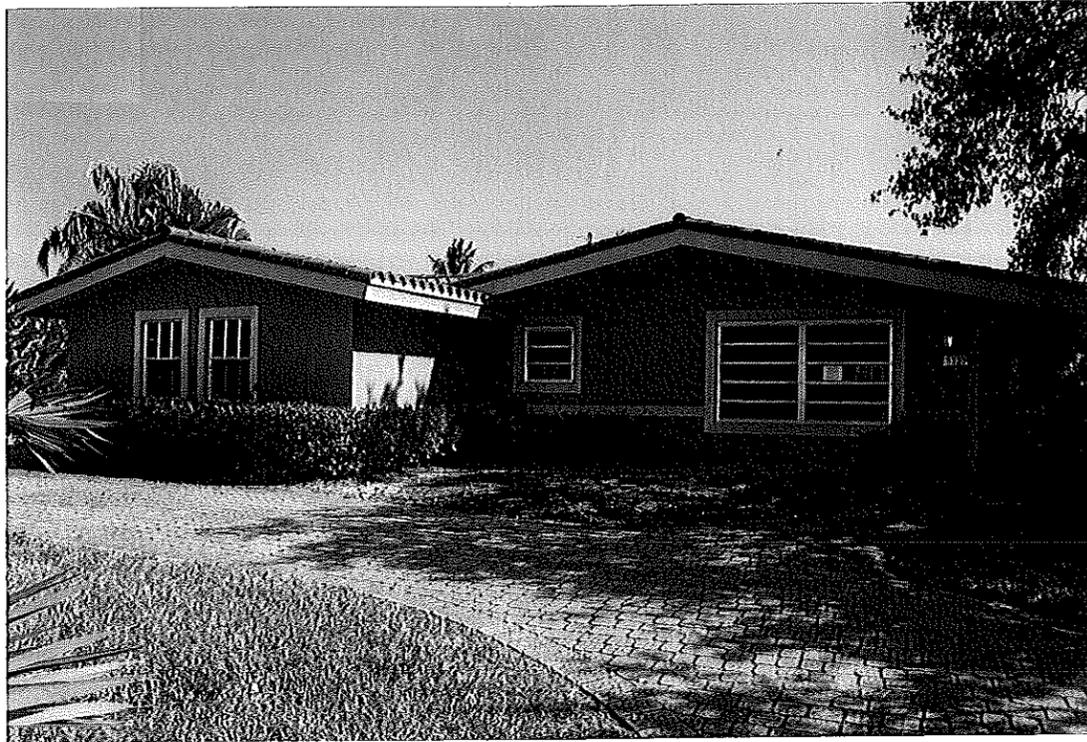
[Signature]

Google

To see all the details that are visible on the screen, use the "Print" link next to the map.



NORTH

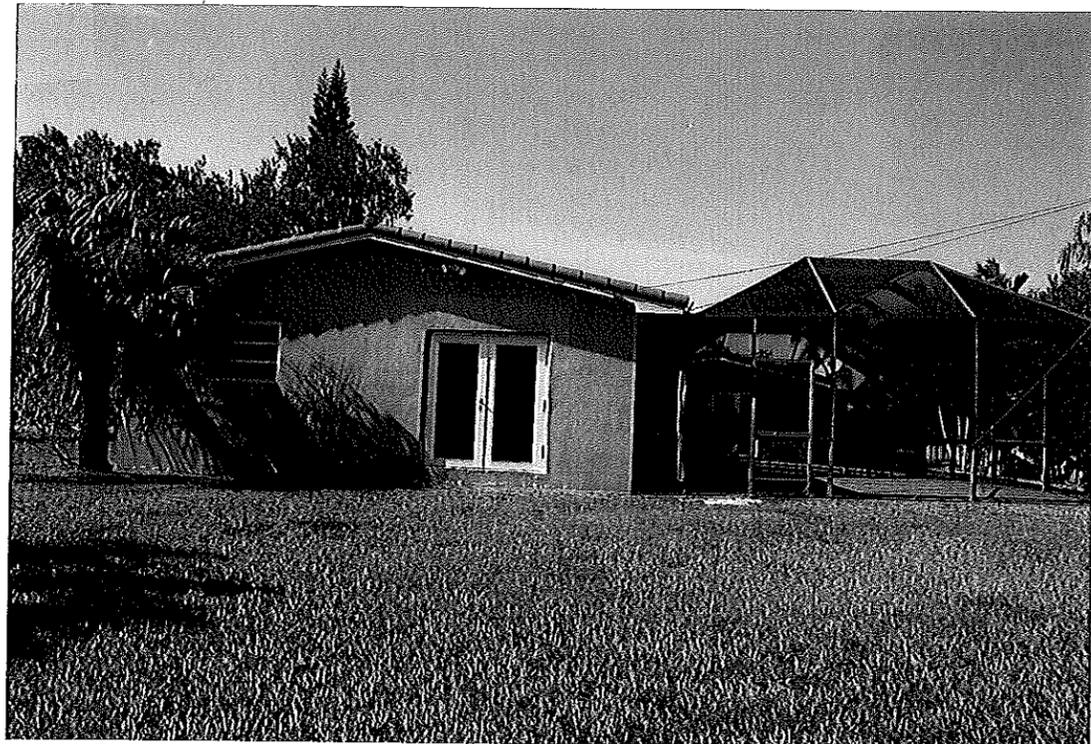


1



2

SOUTH



SW

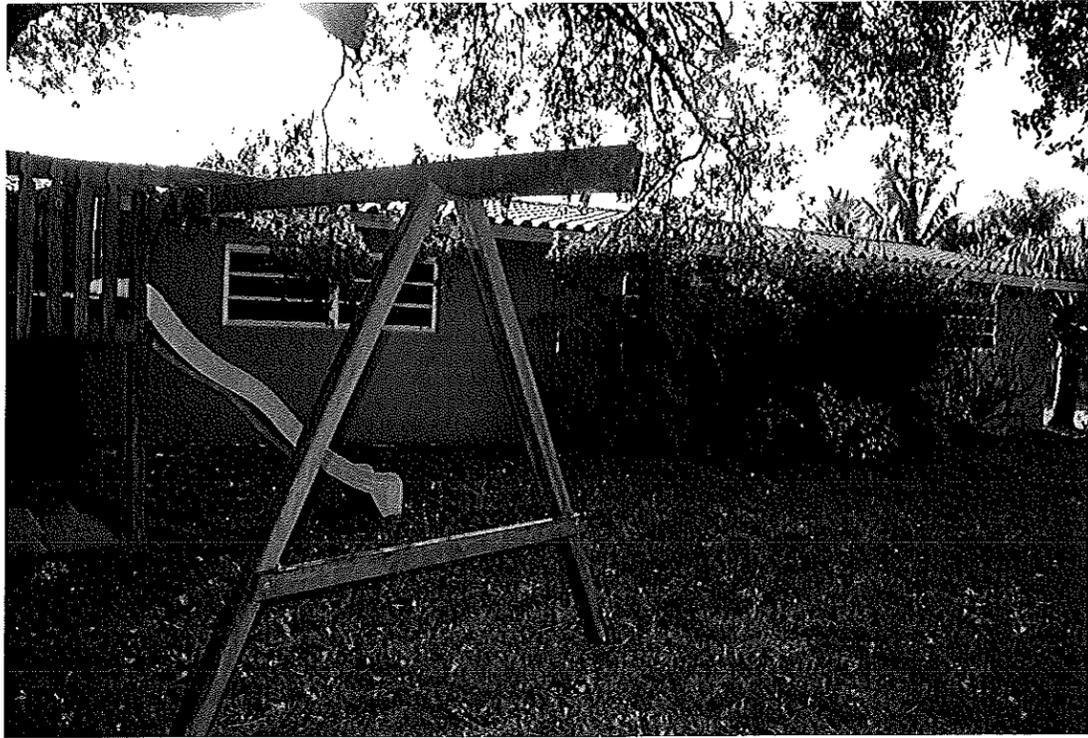


Southern



EAST





EAST



NORTH



Summary Details:	
Folio:	3350220070140
Site Address:	8130 SW 138 ST Bing Maps Street View County Permits by Folio County Permits by Address Property Appraiser Zillow
Mailing Address:	HUMBERTO SEZUMAGA JTRS TALIA SEZUMAGA JTRS 9710 SW 72 CT PINECREST FL 33156

Property Information:	
Beds/Baths:	3 / 2
Floors:	1
Living Units:	1
Adj Sq Footage:	1,824
Lot Size:	15,417 SQ FT
Year Built:	1980
Legal Description:	22 55 40 PB 67-67 GREEN BRIAR ACRES 1ST ADDN LOT 1/4 BLK 4 LOT SIZE SITE VALUE OR 16188-2114 1293 1 F/A/U 30-5022-007-0140 VIEW PLAT 67-67 Deed:16188-2114

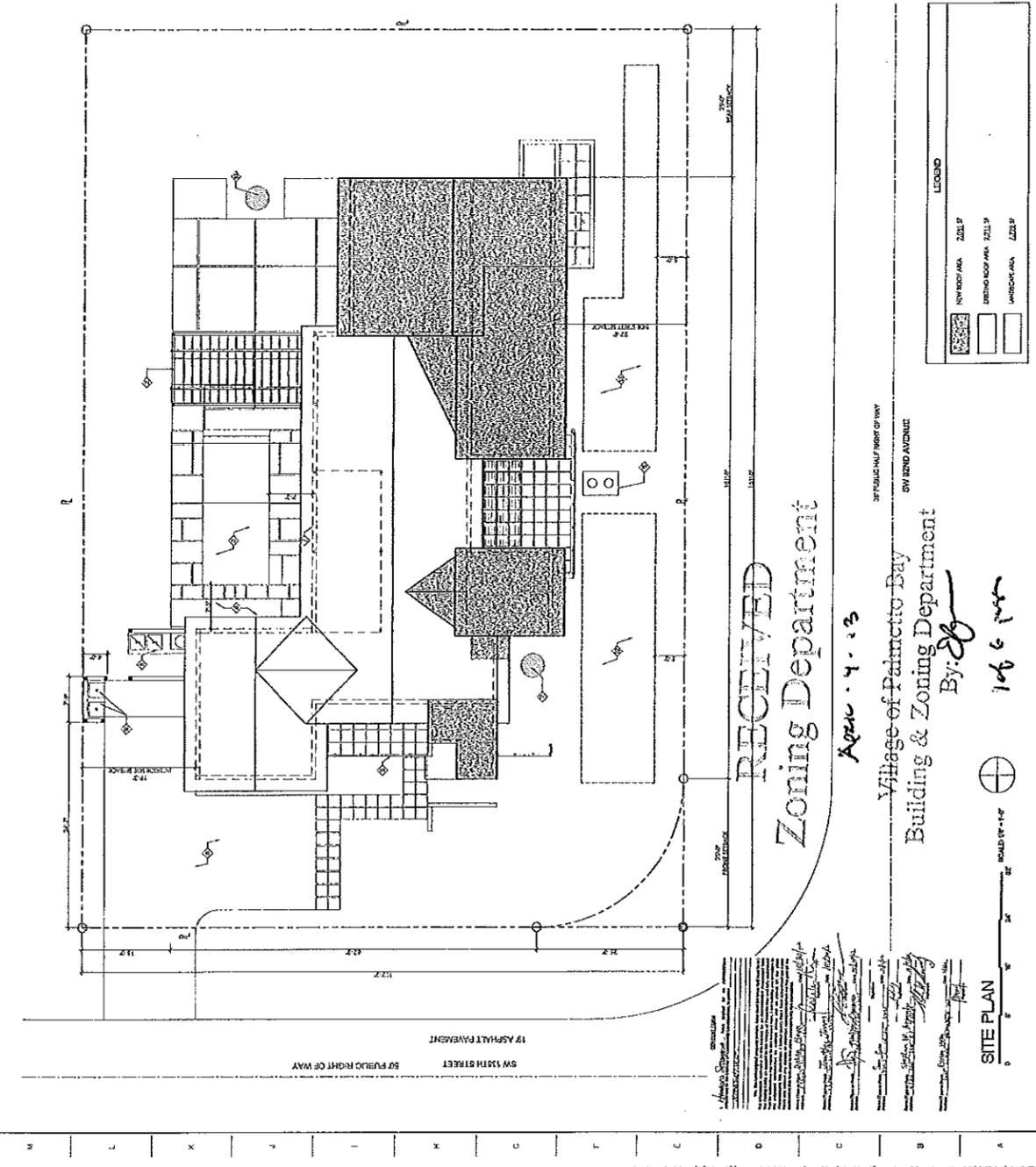
Sale Information:			
Sale Date:	5 / 2007	12 / 1993	0 / 0
Sale Amount:	\$527,000	\$142,000	\$0
Sale O/R:	25664-2018	16188-4214	

Assessment Information:		
Year:	2012	2011
Land Value:	\$152,085	\$136,876
Building Value:	\$126,045	\$118,348
Market Value:	\$278,130	\$255,224
Assessed Value:	\$278,130	\$255,224
Homestead Exemption:	\$0	\$0
Senior Exemption:	\$0	\$0
Agricultural Exemption:	\$0	\$0
Widow Exemption:	\$0	\$0
Disabled Exemption:	\$0	\$0
Veteran Exemption:	\$0	\$0

PLANS & ELEVATIONS

HUMBERTO & TALIA SEZUMAGA VPB-13-008

1 2 3 4 5 6 7 8 9 10 11 12 13 14 15 16 17



RECEIVED
Zoning Department
 APR 4 2013
 Village of Palmetto Bay
 Building & Zoning Department
 By: *[Signature]*
 10666 per

SITE PLAN



NO.	DESCRIPTION	NO.	DESCRIPTION
1	EXISTING BUILDING FOOTING	1	EXISTING BUILDING FOOTING
2	NEW FOUNDATION	2	NEW FOUNDATION
3	NEW EXTERIOR WALL	3	NEW EXTERIOR WALL
4	NEW INTERIOR WALL	4	NEW INTERIOR WALL
5	NEW ROOF	5	NEW ROOF
6	NEW FLOORING	6	NEW FLOORING
7	NEW CEILING	7	NEW CEILING
8	NEW MECHANICAL	8	NEW MECHANICAL
9	NEW ELECTRICAL	9	NEW ELECTRICAL
10	NEW PLUMBING	10	NEW PLUMBING
11	NEW PAINT	11	NEW PAINT
12	NEW LANDSCAPE	12	NEW LANDSCAPE
13	NEW DRIVEWAY	13	NEW DRIVEWAY
14	NEW WALKWAY	14	NEW WALKWAY
15	NEW PORCH	15	NEW PORCH
16	NEW STAIRS	16	NEW STAIRS
17	NEW DECK	17	NEW DECK
18	NEW PATIO	18	NEW PATIO
19	NEW FENCE	19	NEW FENCE
20	NEW SIGNAGE	20	NEW SIGNAGE
21	NEW UTILITIES	21	NEW UTILITIES
22	NEW EROSION CONTROL	22	NEW EROSION CONTROL
23	NEW LIGHTING	23	NEW LIGHTING
24	NEW SECURITY	24	NEW SECURITY
25	NEW ACCESSORIES	25	NEW ACCESSORIES

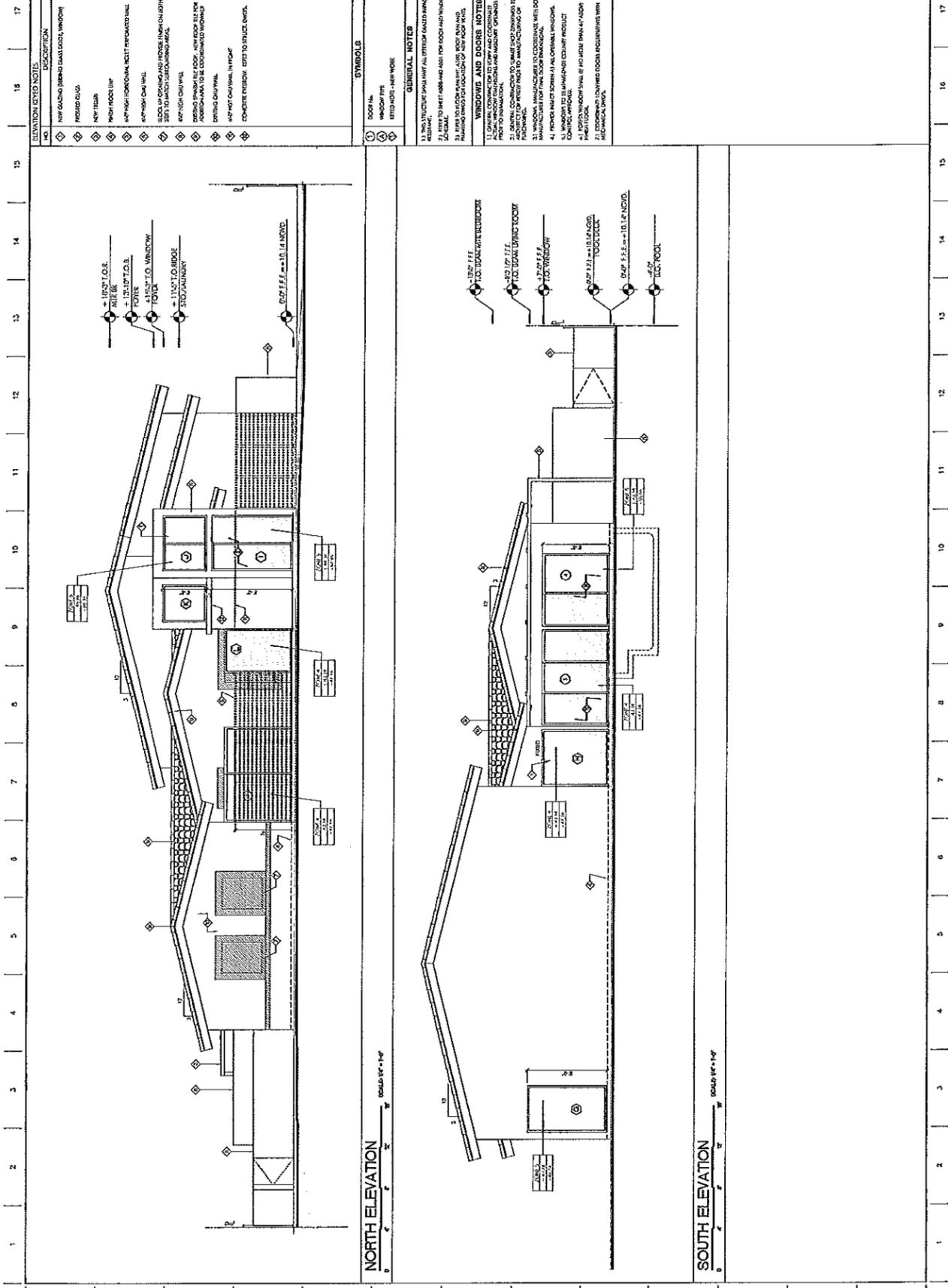
Project Name: **SEZUMAGA RESIDENCE**
 Project No.: **AS100**
 Scale: **AS1000**
 Date: **JUL 11 2012**
 Drawing: **01**
 Submittal: **FINAL**
 Old Plan: **AS100**
 Drawing Title: **01B PLAN**
 Sheet No.: **AS100**

1. ZONING: **RM-1** (Residential Medium Density) - **13,200 SF** (13,200 SF)
 2. SITE AREA: **13,200 SF** (13,200 SF)
 3. SETBACKS: **FRONT: 25'**, **REAR: 25'**, **SIDE: 25'**, **MIN. 5'**
 4. BUILDING HEIGHT: **14' 0" (TOP OF STAIRS FINISH)**
 5. BUILDING LOT COVERAGE: **45.00%**
 6. LANDSCAPE OPEN AREA: **2,750 S.F.**

Project Name: **SEZUMAGA RESIDENCE**
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 Scale: **AS1000**
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 Sheet No.: **AS100**



NORTH ELEVATION
SCALE: 1/8" = 1'-0"

SOUTH ELEVATION
SCALE: 1/8" = 1'-0"

SECURITY RESIDENCY	
Project Name:	
Project Address:	
Project City:	
Project State:	
Project Zip:	
Project Date:	
Project No.: 272	
Date: 03.11.13	
Drawn: T	
Checked: JF	
Submitted: JF	
Cad File: 272	
Drawing Title:	
NORTH AND SOUTH ELEVATIONS	
Sheet No. A200	

ELEVATION	SYMBOL	DESCRIPTION
1	◆	NEW GALVALUME BRICK TANK WALL, WINDOW
2	◆	PROTECT CLASS
3	◆	NEW TRUSS
4	◆	NEW FLOOR LIN
5	◆	4" X 4" HORIZONTAL NOTT PRECASTED WALL
6	◆	4" X 4" CM WALL
7	◆	BLOCK UP BRICKS AND TRUSS LINER ON TOP
8	◆	4" X 4" CM WALL
9	◆	BRICKS FINISH TO TOP, NEW ROOF FOR NEW TRUSS LINER ON TOP
10	◆	BRICKS ON TOP
11	◆	4" X 4" CM WALL IN PLACE
12	◆	CONCRETE FLOOR, GFT TO FINISH WORK.

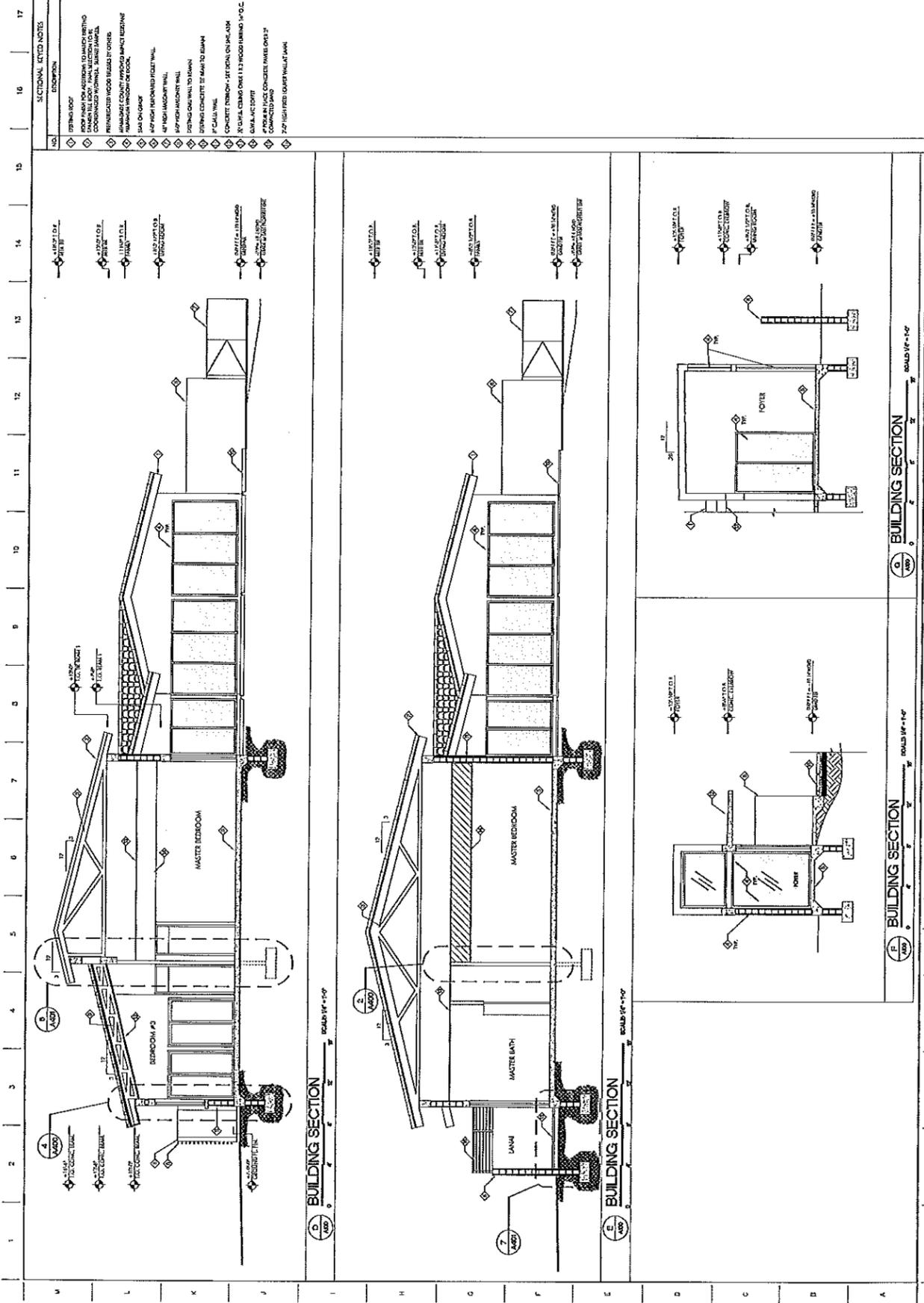
SYMBOL	DESCRIPTION
①	ROOF IN
②	WINDUP FRS
③	INTO NOTE - NEW WORK

GENERAL NOTES

1. GENERAL CONTRACTOR TO VERIFY ALL CONDITIONS PRIOR TO WORK.
2. FIT TO MEET AREA AND USE FOR FOOD AND WINDOW SCHEDULE.
3. ALL WORK TO BE DONE IN ACCORDANCE WITH THE BUILDING DEPARTMENT'S REQUIREMENTS FOR NEW WORK.

WINDOWS AND DOORS NOTES

1. GENERAL CONTRACTOR TO VERIFY ALL CONDITIONS PRIOR TO WORK.
2. GENERAL CONTRACTOR TO VERIFY ALL CONDITIONS PRIOR TO WORK.
3. WINDOW MANUFACTURER TO COORDINATE WITH ROOF MANUFACTURER FOR PROPER INSTALLATION.
4. WINDOW MANUFACTURER TO VERIFY ALL CONDITIONS PRIOR TO WORK.
5. WINDOW MANUFACTURER TO VERIFY ALL CONDITIONS PRIOR TO WORK.
6. WINDOW MANUFACTURER TO VERIFY ALL CONDITIONS PRIOR TO WORK.
7. WINDOW MANUFACTURER TO VERIFY ALL CONDITIONS PRIOR TO WORK.



NO.	DESCRIPTION
1	2" CONCRETE FLOOR
2	4" CONCRETE SLAB
3	1" CONCRETE SLAB
4	1" CONCRETE SLAB
5	1" CONCRETE SLAB
6	1" CONCRETE SLAB
7	1" CONCRETE SLAB
8	1" CONCRETE SLAB
9	1" CONCRETE SLAB
10	1" CONCRETE SLAB
11	1" CONCRETE SLAB
12	1" CONCRETE SLAB
13	1" CONCRETE SLAB
14	1" CONCRETE SLAB
15	1" CONCRETE SLAB
16	1" CONCRETE SLAB
17	1" CONCRETE SLAB

CHISHOLM
ARCHITECTS
1000 W. WASHINGTON ST.
SUITE 100
DALLAS, TEXAS 75201
TEL: 214.750.1234
FAX: 214.750.1235
WWW.CHISHOLMARCHITECTS.COM

SDM
STRUCTURAL DESIGN & MATERIALS
1000 W. WASHINGTON ST.
SUITE 100
DALLAS, TEXAS 75201
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FAX: 214.750.1235
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FAX: 214.750.1235
WWW.PMM-CONSULTING.COM

SECTION/DATE
SECTION: 1/4"
DATE: 1/1/2024

PROJECT: **NO. 1234**

OWNER: **ABC COMPANY**

DESIGNER: **CHISHOLM ARCHITECTS**

DATE: **1/1/2024**

CHECKED: **J. DOE**

SCALE: **1/4" = 1'-0"**

PROJECT NO.: **1234**

DATE: **1/1/2024**

PROJECT: **NO. 1234**

OWNER: **ABC COMPANY**

DESIGNER: **CHISHOLM ARCHITECTS**

DATE: **1/1/2024**

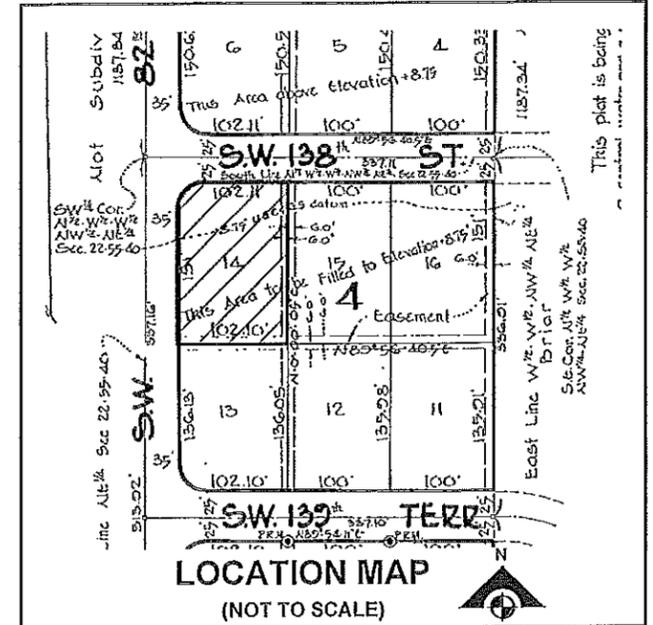
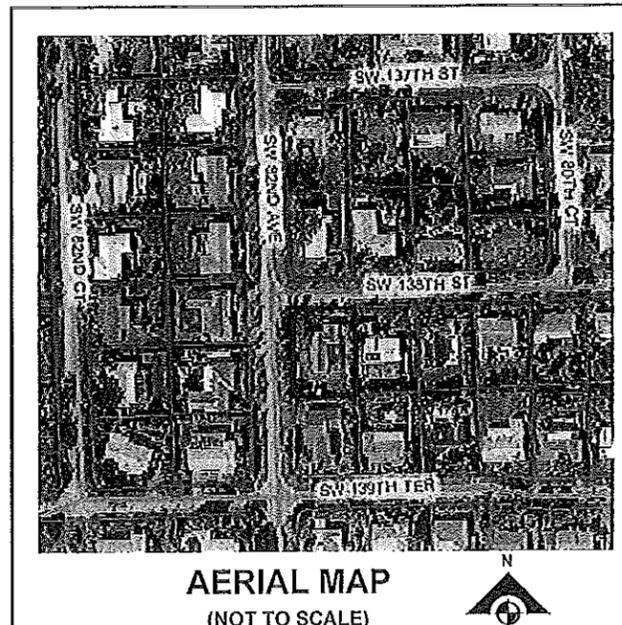
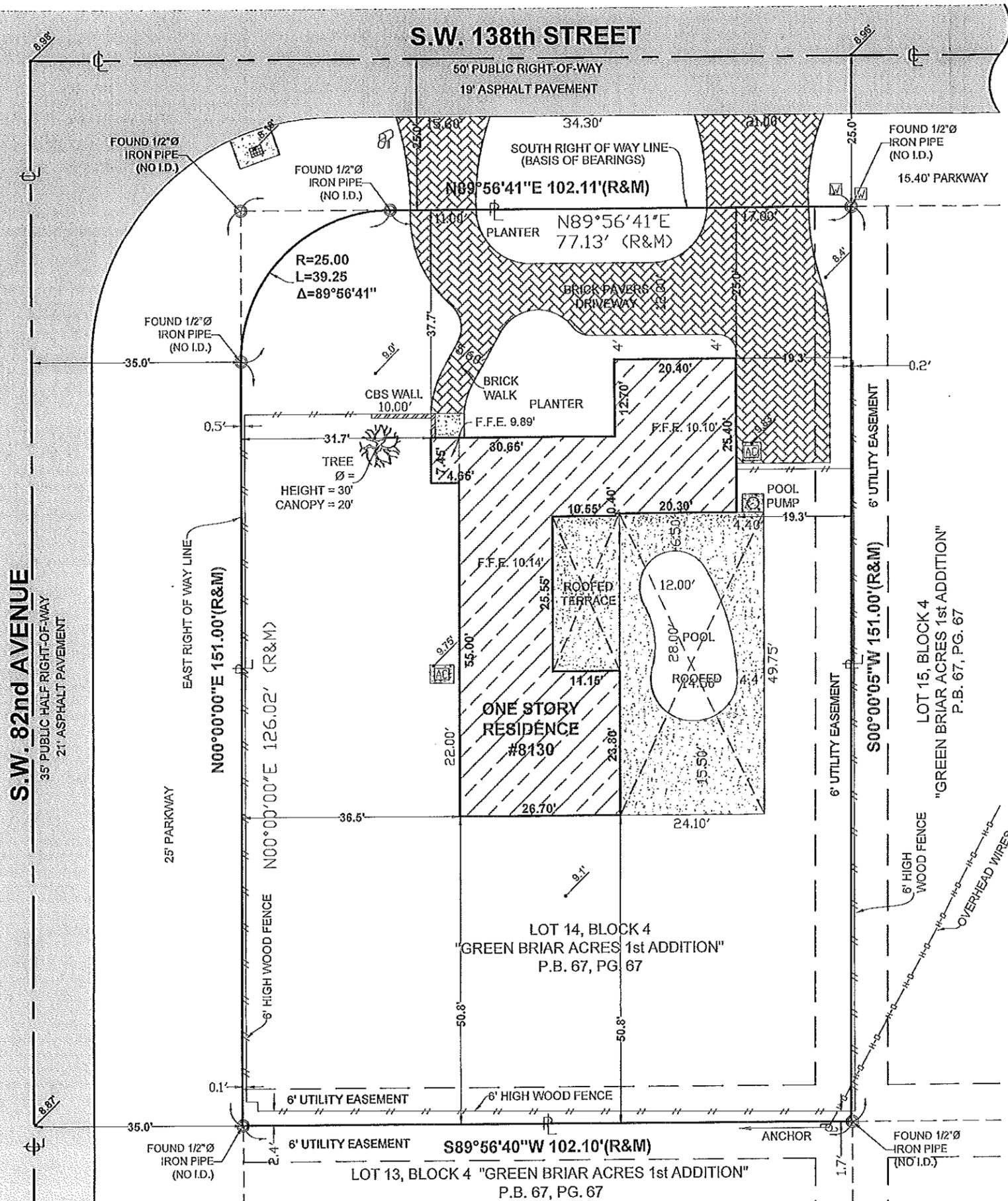
CHECKED: **J. DOE**

SCALE: **1/4" = 1'-0"**

PROJECT NO.: **1234**

DATE: **1/1/2024**

SKETCH OF SURVEY



SCALE: 1" = 20'

- LEGEND**
- A/C UNIT
 - CATCH BASIN
 - CENTER LINE
 - ELEVATION
 - MAILBOX
 - METER (WATER)
 - PROPERTY LINE
 - TREE
 - UTILITY POLE

- ABBREVIATIONS**
- A/C = AIR CONDITIONER UNIT
 - Δ = CENTRAL ANGLE (DELTA)
 - Ø = DIAMETER
 - F.F.E. = FINISHED FLOOR ELEVATION
 - H = HEIGHT
 - I.D. = IDENTIFICATION
 - L = LENGTH (WHEN USED IN CURVE DATA)
 - PG. = PAGE
 - P.B. = PLAT BOOK
 - R = RADIUS
 - (R&M) = RECORDED & MEASURED

PROPERTY ADDRESS:
8130 SW 138th STREET MIAMI, FL.

DESCRIPTION:
LOT 14 BLOCK 4 OF 6 GREEN BRIAR ACRES FIRST ADDITION " ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 67 AT PAGE 67 OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA.

FLOOD ZONE INFORMATION:
COMMUNITY NO. 120687
PANEL NO. 0464
SUFFIX: L
FIRM DATE: 09/11/2009
FLOOD ZONE: AE + 10.0'

THERE MAY BE LEGAL RESTRICTIONS ON THE SUBJECT PROPERTY THAT ARE NOT SHOWN ON THE MAP OF SURVEY THAT MAY BE FOUND IN THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, OR THE RECORDS OF ANY OTHER PUBLIC AND PRIVATE ENTITIES AS THEIR JURISDICTIONS MAY APPEAR.

THE MAP OF SURVEY IS INTENDED TO BE DISPLAYED AT THE STATED GRAPHIC SCALE IN ENGLISH UNITS OF MEASUREMENT. ATTENTION IS BROUGHT TO THE FACT THAT SAID DRAWING MAY BE ALTERED IN SCALE BY THE REPRODUCTION PROCESS

THIS SURVEY WAS CONDUCTED FOR THE PURPOSE OF A BOUNDARY SURVEY ONLY AND IS NOT INTENDED TO DELINEATE THE REGULATORY JURISDICTION OF ANY FEDERAL, STATE, REGIONAL OR LOCAL AGENCY BOARD, COMMISSION OR OTHER ENTITY.

THE ELEVATIONS OF WELL-IDENTIFIED FEATURES AS DEPICTED ON THIS SURVEY AND MAP WERE MEASURED TO AN ESTIMATED VERTICAL POSITIONAL ACCURACY OF 1/10 FOOT FOR NATURAL GROUND SURFACES AND 1/100 FOOT FOR HARDSCAPE SURFACES, INCLUDING PAVEMENTS, CURBS AND OTHER MAN-MADE FEATURES AS MAY EXIST.

REFERENCE BENCH MARK: H-342 ELEVATION: 10.72 FEET (N.G.V.D. 1929)

LEGAL DESCRIPTION WAS FURNISHED BY THE CLIENT.

360° SURVEYING AND MAPPING, LLC
Land Surveyors - Land Planners
2000 S.W. 83rd Court MIAMI, FLORIDA 33155
PHONE: (305) 265-1002

WELL-IDENTIFIED FEATURES AS DEPICTED ON THIS SURVEY AND MAP WERE MEASURED TO AN ESTIMATED HORIZONTAL POSITIONAL ACCURACY OF 1/10 FOOT UNLESS OTHERWISE SHOWN.

LEGAL DESCRIPTION SUBJECT TO ANY DEDICATIONS, LIMITATIONS, RESTRICTIONS, RESERVATIONS OR RECORDED EASEMENTS.

IF SHOWN ELEVATIONS ARE REFERRED TO N.G.V.D. OF 1929.

THE SURVEYOR MAKES NO REPRESENTATION AS TO OWNERSHIP, POSSESSION OR OCCUPATION OF THE SUBJECT PROPERTY BY ANY ENTITY OR INDIVIDUAL.

SUBSURFACE IMPROVEMENTS AND/OR ENCROACHMENTS WITHIN, UPON, ACROSS, ABUTTING OR ADJACENT TO THE SUBJECT PROPERTY WERE NOT LOCATED AND ARE NOT SHOWN.

NOT VALID WITHOUT THE SIGNATURE AND ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER. ADDITIONS AND DELETIONS TO THIS MAP OF SURVEY BY OTHER THAN THE SIGNING PARTY ARE PROHIBITED WITHOUT THE WRITTEN CONSENT OF THE SIGNING PARTY.

THIS MAP OF SURVEY HAS BEEN PREPARED FOR THE EXCLUSIVE USE OF THE ENTITIES NAMED HEREIN AND THE CERTIFICATION DOES NOT EXTEND TO ANY UNNAMED PARTY.

CERTIFY TO:

SURVEYOR'S CERTIFICATION:
I HEREBY CERTIFY: THAT THIS "BOUNDARY SURVEY" AND THE MAP OF SURVEY RESULTING THERE FROM WAS PERFORMED UNDER MY DIRECTION AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

360° SURVEYING AND MAPPING, LLC
FLORIDA CERTIFICATE OF AUTHORIZATION NO. LB 6356

OSCAR E. BAEZ-CUSIDO, P.L.S.
REGISTERED SURVEYOR AND MAPPER NO. 5034
STATE OF FLORIDA.

ORIGINAL FIELD DATE	05-18-12	JOB NO.	1205-0051	SHEET
REVISIONS:		DRAWN	JV - OB	

ZONING HISTORY

HUMBERTO & TALIA SEZUMAGA VPB-13-008

RESOLUTION NO.

1327

The following resolution was offered by Commissioner

_____, seconded by Commissioner
Charles F. Hall

_____, and upon poll of members
John B. McLeod
present, the vote was as follows:

Faris N. Cowart		John B. McLeod	
Charles F. Hall	Aye	Ralph A. Fossey	Aye
Edwin L. Mason	Aye		Absent
	Aye		

WHEREAS, Max L. Block has applied for a special permit for subdivision water pumping station and storage tank on SW 81 to 82 Avenues between Howard Drive and 138 Street, Dade County, Florida, and

WHEREAS, a public hearing of the Dade County Zoning Commission was advertised and held as required by law, and after hearing all interested parties and considering the adjacent areas, the Zoning Commission recommended that the application be approved subject to the following conditions:

1. That a plot use plan be submitted to and meet with the approval of the Dade County Zoning Director, showing the proposed structures, landscaping, parking layout, fencing, etc.
2. That the applicant provide landscaping and shrubbery for the entire site so that the same has the appearance of a park.
3. That in the approval of said plan, the location of the proposed water plant be placed as far south as is possible and that said location meet with the approval of the Zoning Director.
4. That the use be established and maintained in accordance with the approved plan.
5. That the water plant building be of a "residence type".
6. That water storage be provided by surface tanks rather than elevated tanks.
7. That a trust agreement, providing for the continued and satisfactory operation of the plant be submitted to and filed with the Dade County Planning, Zoning and Building Department; said agreement shall meet with the approval of the Federal Housing Administration and/or Veterans Administration or the County Attorney; said approval shall be endorsed in writing on the copy filed with the Dade County Planning, Zoning and Building Department.
8. That the special permit be automatically renewable annually by the Dade County Planning, Zoning and Building Department, and be subject to cancellation for any violation thereof.

9. That the installation be subject to the approval of the Dade County Health Department, and

WHEREAS, it appears to this Board that the requested special permit, as recommended by the Zoning Commission, would be in accord with the overall comprehensive zoning plan for Dade County, Florida;

NOW THEREFORE BE IT RESOLVED by the Board of County Commissioners, Dade County, Florida, that the special permit be and the same is hereby approved as recommended by the Zoning Commission.

The Zoning Director is hereby directed to make the necessary notations upon the records of the Dade County Planning, Zoning and Building Department, and to issue the necessary permits in accordance with the terms and conditions of this resolution.

PASSED AND ADOPTED this 24th day of April, 1958.

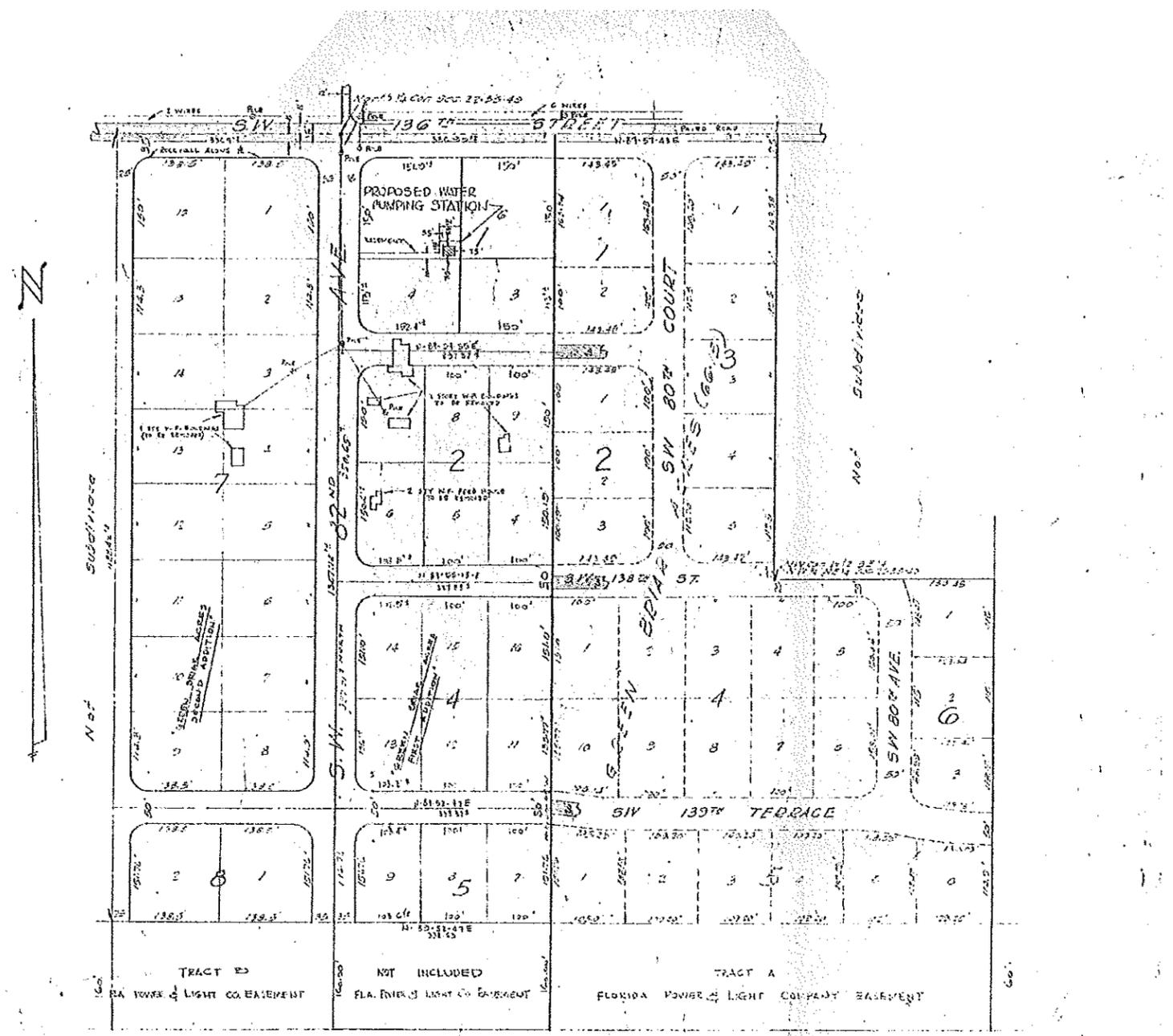
Heard 3-21-58

vd

BOARD OF COUNTY COMMISSIONERS
DADE COUNTY, FLORIDA

BY EDWIN L. MASON
Chairman/Vice Chairman

E. B. LEATHERMAN, CLERK
By EDWARD D. PHELAN
Deputy Clerk



Propose to save
not more than 700
names in
conjunction with 1948

PROPOSED
TENTATIVE PLAT OF
"GREEN DRIAR ACRES FIRST & SECOND ADDITIONS"

FIRST ADDITION BEING THE W 1/2 W 1/2 NW 1/4 NE 1/4 OF SECTION 22-55-40 SECOND ADDITION BEING THE SW 1/4 NW 1/4 NW 1/4 OF SECTION 22-55-40
DADE COUNTY, FLORIDA

FOR: MAX BLOCK
DECEMBER 1957
SCALE: 1" = 100'

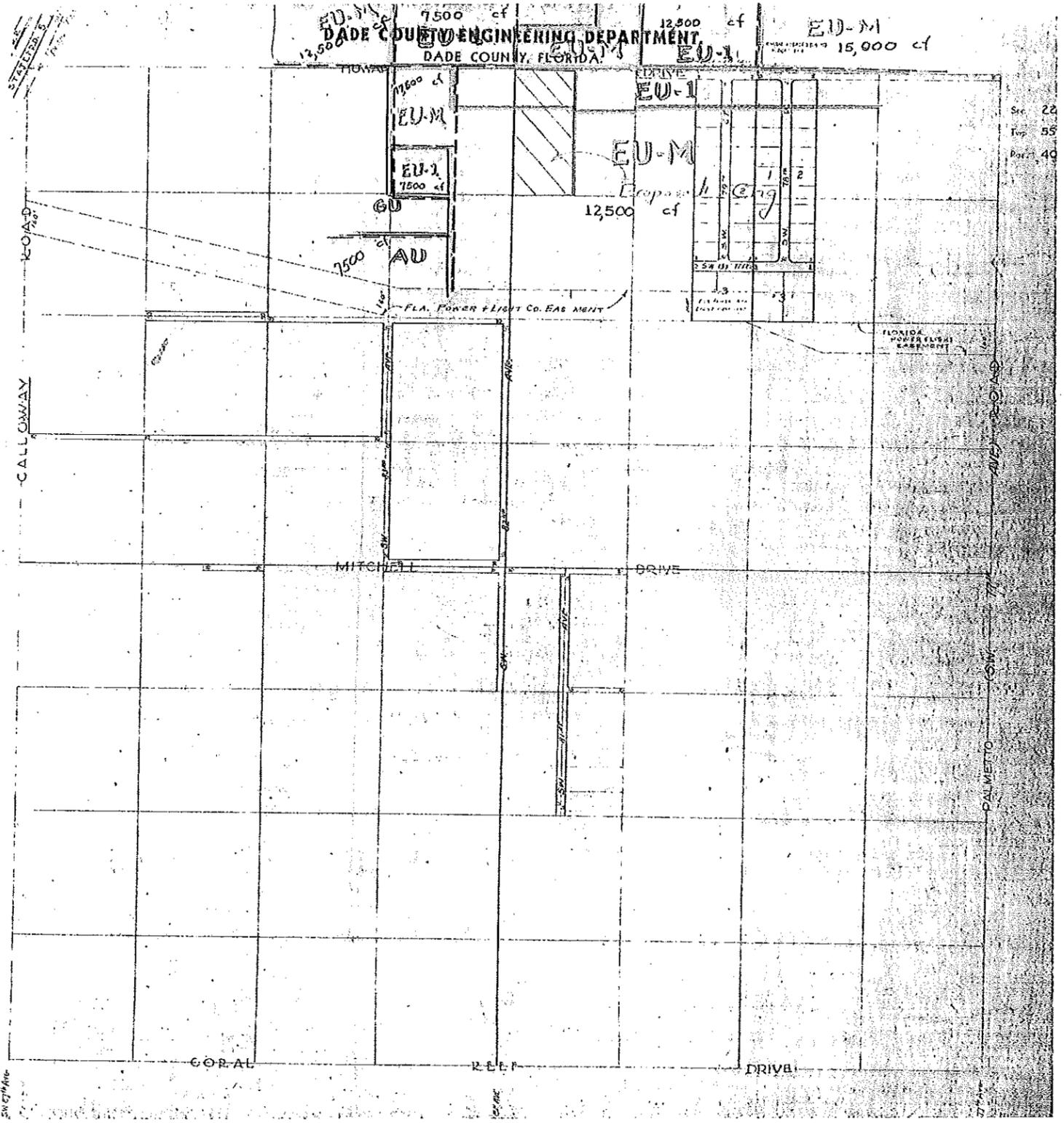
I HEREBY CERTIFY THAT TO THE BEST OF MY KNOWLEDGE, INFORMATION AND BELIEF THERE ARE NO STRUCTURES, EASEMENTS OR DEDICATIONS OF RECORD, OR IMPROVEMENTS OR SURVEY PLATS, NOR IMPROVEMENTS WITHIN THE ABUTTING RIGHTS-OF-WAY EXCEPT AS SHOWN HEREON.

Hamilton M. Faith
HAMILTON M. FAITH
REG. LAND SURVEYOR # 287
STATE OF FLORIDA



HAMILTON M. FAITH
CIVIL ENGINEER & LAND SURVEYOR
110 PINE ST. S.W., CORAL GABLES, FLORIDA

REV. 2-24-56, ADJIC. PLANNING DIVISION
TENTATIVE No. 1846



Sec. 22
Twp. 55
Rang. 40

SW 1/4

SW 1/4

cc: F. Cook
Personal File
Hrg. File

XXXXXXXXXXXXXXXXXXXX 1387 N. W. 11 St.

May 1, 1958

Mr. Max L. Block
1770 North Bayshore Drive
Miami, Florida

Re: Special permit for subdivi-
sion water pumping station
and storage tank on prop.
located from S.W. 81 to 82
Aves., bet. Howard Dr. and
138 St.

Dear Mr. Block:

I am enclosing herewith a copy of Resolution No. 1327, adopted by the Board of County Commissioners of Dade County, Florida, approving your application on the aforesaid property. Please note the conditions under which said approval was granted, inasmuch as strict compliance therewith will be required. I would suggest that the required plot use plan be submitted to this office (in triplicate) for approval of the Zoning Director before any detailed plans are prepared, inasmuch as building permits will not be issued prior to the approval of said plan.

Please contact the writer with regard to the required trust agreement. Application for necessary certificate of use and occupancy should be made with this office at 1387 North West Eleventh Street.

Very truly yours,

Chester C. Czobriniski
Assistant Director

CC: jm
Enc.

cc: Dade Co. Health Dept.
1200 S.W. First St., Miami

Darrey A. Davis, Co. Atty.
16th Floor Court House
Miami

cc: Federal Housing Adm.
260 Giralda Ave.
Coral Gables

Veterans' Adm.
3300 N. E. 8 Ave.
Miami

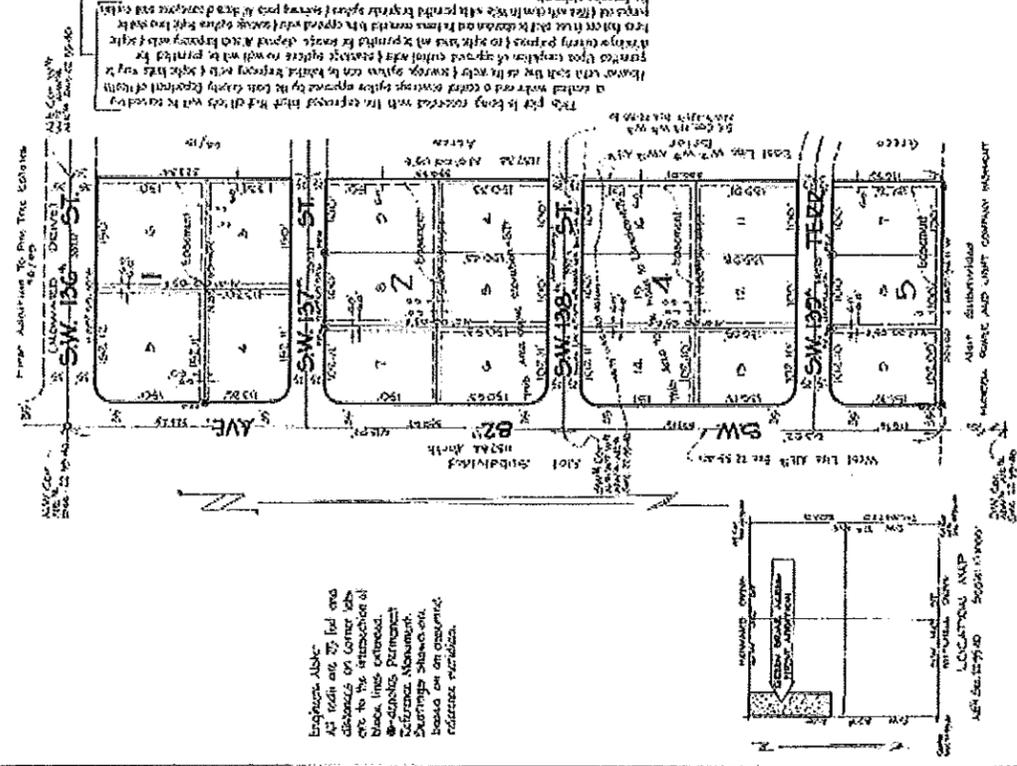
RECEIVED
FEB 24 1938
LAWSON CO. ELECT. & MFG. CO.
& BLDG. DEPT.

GREEN BRIAR ACRES 67-67

FIRST ADDITION A SUBDIVISION LYING IN THE NE 1/4 OF SECTION 22, TOWNSHIP 35 S., RANGE 40 E., FLORIDA

MILLER AND SMITH
Engineers, Surveyors and Planners
1000 N. W. 10th St., Ft. Lauderdale, Florida

May 1958



KNOW ALL MEN BY THESE PRESENTS That Max L. Black, a single man, has caused to be made the attached plat entitled "GREEN BRIAR ACRES, FIRST ADDITION" to be a subdivision of the West 1/4 of the West 1/4 of the NE 1/4 of the South 1/4 of Section 22, Township 35 South, Range 40 East, Dade County, Florida.

The Avenue, Terrace, and Streets on shown on the attached plat, together with all existing and future planning laws and ordinances, statutes, and laws applicable to the physical use of the public for proper purposes, reserving to himself, his heirs, executors or assigns, the right of reversion thereof whenever discontinued by law.

The Official zoning regulations of Dade County, Florida, now in effect or on the same day as from time to time changed or amended applicable to the area in which this subdivision is located shall be observed. Also, if an error on this plat shall be divided or re-subdivided unless both parties at said lot are used to increase the size of the adjacent lots or plat.

Lines on the attached plat is reserved for the installation and maintenance of public utilities in the area shown below Section 5.75 of the attached plat as filed in the office of the Clerk of the Public Utilities Commission of Dade County, Florida, on this 15th day of May, 1958.

Max L. Black
Max L. Black

STATE OF FLORIDA, before me, this day personally appeared Max L. Black, a single man, to me well known to be the person described in and who is the owner of the above described land, and who acknowledged that he executed the same freely and voluntarily for the uses and purposes therein mentioned.

James M. Hendrick
Notary Public, State of Florida at Large.

My Commission expires July 6, 1957 AD 1958.

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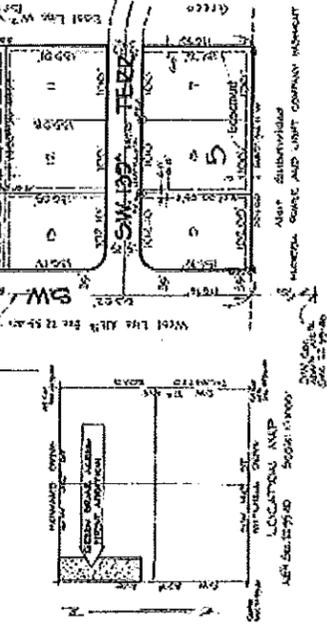
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This plat was approved by the Dade County, Florida, Planning, Zoning, and Building Department this 22nd day of January, AD 1958.

John W. Mueller
Registered Land Surveyor No. 740
State of Florida

This plat was approved and the foregoing declaration was approved by Resolution No. 2227, passed and adopted by the Board of County Commissioners of Dade County, Florida, this 22nd day of January, AD 1958.

John W. Mueller
Chairman of the Board

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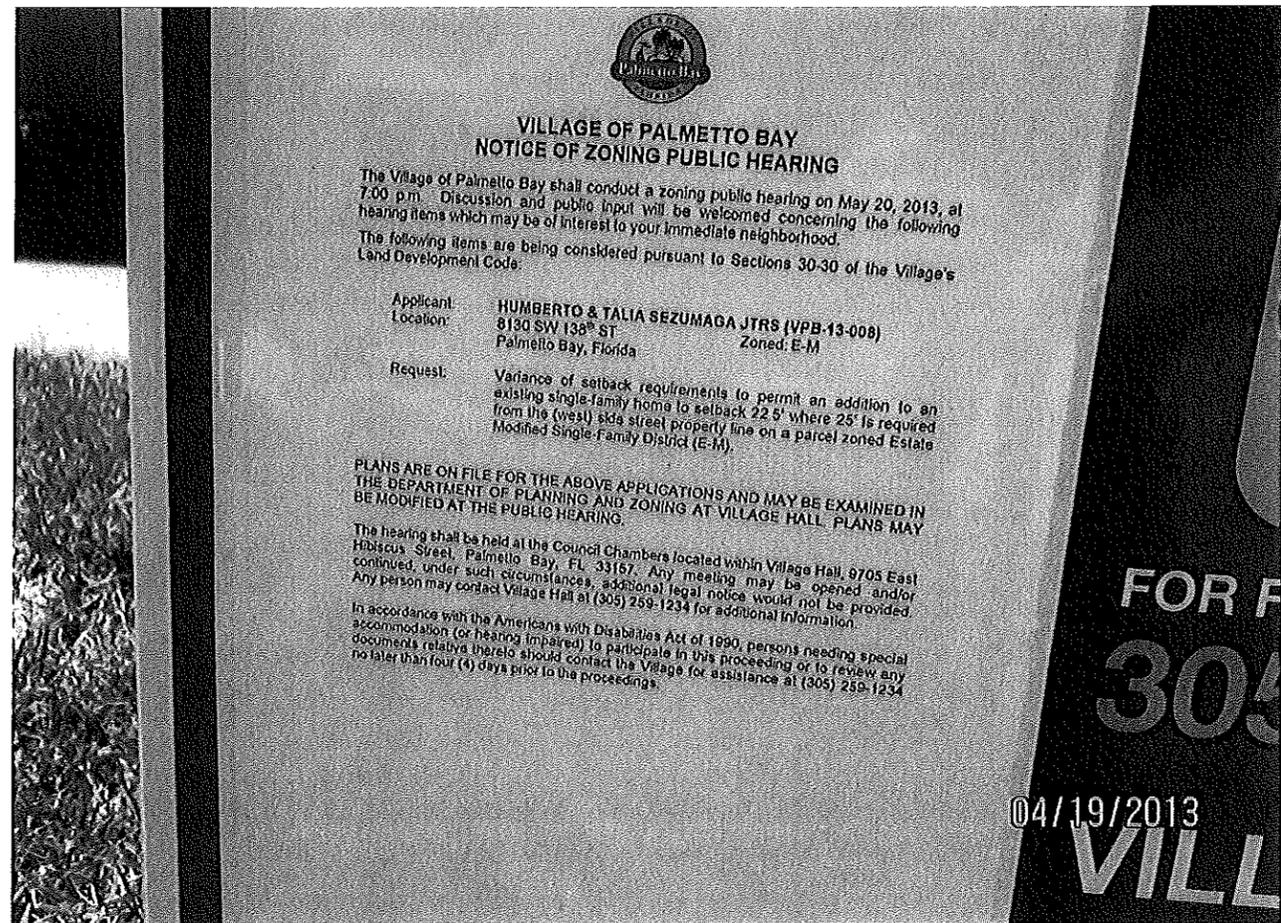
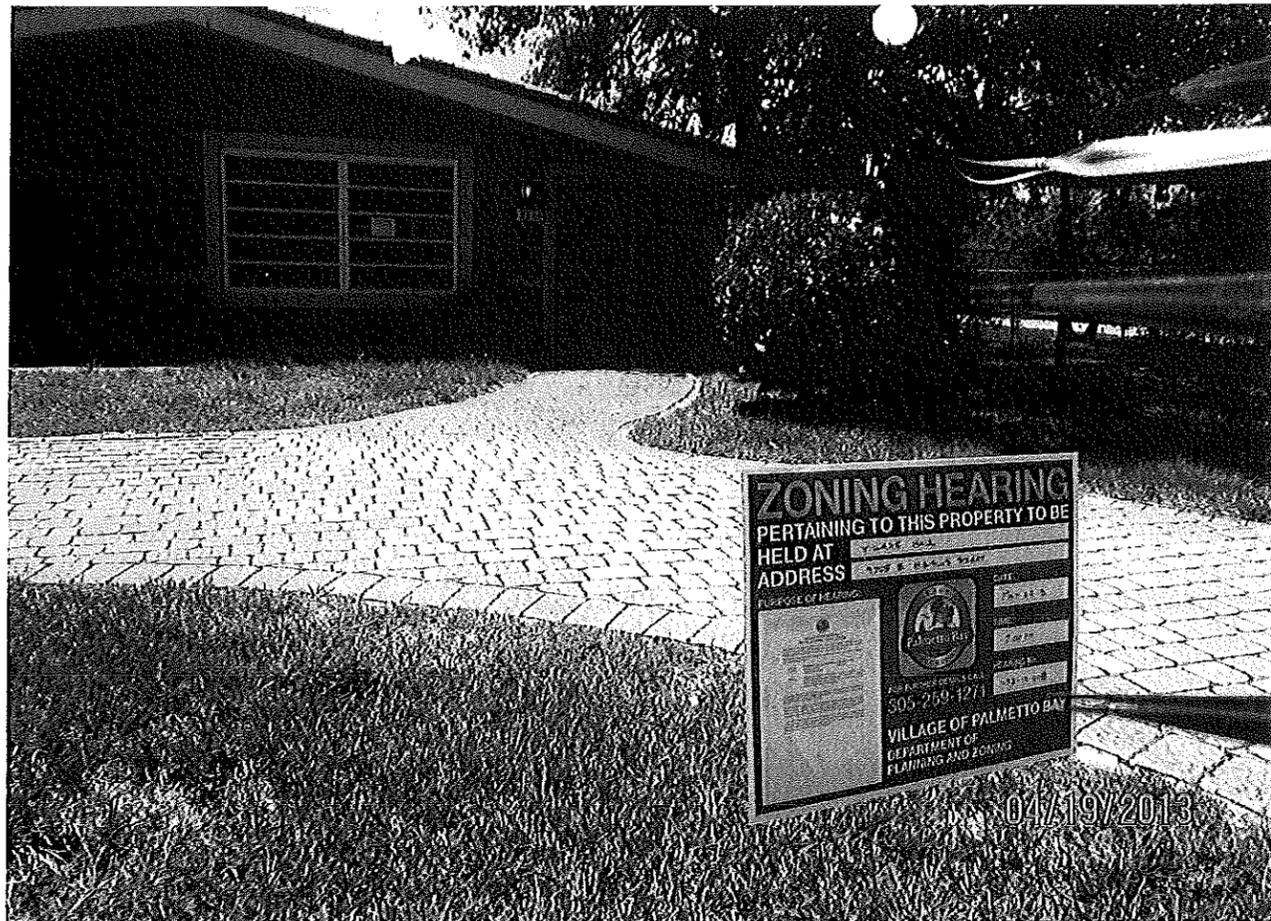
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Chairman of the Board

POSTING & MAILING

HUMBERTO & TALIA SEZUMAGA VPB-13-008





8130 SW 138 ST
SEZUMA 4A
41

**VILLAGE OF PALMETTO BAY
NOTICE OF PUBLIC HEARING**

HEARING NUMBER: VPB-13-008
APPLICANT NAME: HUMBERTO & TALIA SEZUMAGA JTRS
FOLIO: 3350220070140
PROJECT LOCATION: 8130 SW 138TH ST, PALMETTO BAY, FL 33158

REQUEST: Variance of setback requirements to permit an addition to an existing single-family home to setback 22.5' where 25' is required from the (west) side street property line on a parcel zoned Estate Modified Single-Family District (E-M).

PLANS ARE ON FILE AND MAY BE EXAMINED IN THE DEPARTMENT OF PLANNING AND ZONING AT VILLAGE HALL. PLANS MAY BE MODIFIED BEFORE AND DURING THE PUBLIC HEARING.

A PUBLIC HEARING WILL BE HELD MONDAY, MAY 20, 2013, AT 7:00 PM AT THE COUNCIL CHAMBERS LOCATED WITHIN VILLAGE HALL, 9705 EAST HIBISCUS STREET, PALMETTO BAY, FL 33157.

YOU ARE NOT REQUIRED TO RESPOND TO THIS NOTICE: However, objections or waivers of objection may be made in person at the hearing or filed in writing prior to the hearing date with the Department of Planning and Zoning. Any meeting may be opened and continued, and under such circumstances, additional legal notice would be provided. Any person may contact Village Hall at (305) 259-1234 for additional information. Please call the Village Clerk for ADA needs (or hearing impaired) no later than four (4) days prior to the proceedings.

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PLANS ARE ON FILE AND MAY BE EXAMINED IN THE DEPARTMENT OF PLANNING AND ZONING AT VILLAGE HALL. PLANS MAY BE MODIFIED BEFORE AND DURING THE PUBLIC HEARING.

A PUBLIC HEARING WILL BE HELD MONDAY, MAY 20, 2013, AT 7:00 PM AT THE COUNCIL CHAMBERS LOCATED WITHIN VILLAGE HALL, 9705 EAST HIBISCUS STREET, PALMETTO BAY, FL 33157.

YOU ARE NOT REQUIRED TO RESPOND TO THIS NOTICE: However, objections or waivers of objection may be made in person at the hearing or filed in writing prior to the hearing date with the Department of Planning and Zoning. Any meeting may be opened and continued, and under such circumstances, additional legal notice would be provided. Any person may contact Village Hall at (305) 259-1234 for additional information. Please call the Village Clerk for ADA needs (or hearing impaired) no later than four (4) days prior to the proceedings.



VILLAGE OF PALMETTO BAY NOTICE OF ZONING PUBLIC HEARING

The Village of Palmetto Bay shall conduct a zoning public hearing on May 20, 2013, at 7:00 p.m. Discussion and public input will be welcomed concerning the following hearing items which may be of interest to your immediate neighborhood.

The following items are being considered pursuant to Sections 30-30 of the Village's Land Development Code:

Applicant: **HUMBERTO & TALIA SEZUMAGA JTRS (VPB-13-008)**
Location: 8130 SW 138th ST Zoned: E-M
Palmetto Bay, Florida

Request: Variance of setback requirements to permit bedroom additions to an existing single-family home to setback 22.5' where 25' is required from the (west) side street property line on a parcel zoned Estate Modified Single-Family District (E-M).

PLANS ARE ON FILE FOR THE ABOVE APPLICATIONS AND MAY BE EXAMINED IN THE DEPARTMENT OF PLANNING AND ZONING AT VILLAGE HALL. PLANS MAY BE MODIFIED AT THE PUBLIC HEARING.

The hearing shall be held at the Council Chambers located within Village Hall, 9705 East Hibiscus Street, Palmetto Bay, FL 33157. Any meeting may be opened and/or continued, under such circumstances, additional legal notice would not be provided. Any person may contact Village Hall at (305) 259-1234 for additional information.

In accordance with the Americans with Disabilities Act of 1990, persons needing special accommodation (or hearing impaired) to participate in this proceeding or to review any documents relative thereto should contact the Village for assistance at (305) 259-1234 no later than four (4) days prior to the proceedings.

APPLICATION FEES

HUMBERTO & TALIA SEZUMAGA VPB-13-008



Village of Palmetto Bay, Florida
 Planning / Zoning - pzzoneappl
 002545-0016 Wanner F. 04/04/2013 03:25PM
 P&Z ZONING APPLICATIONS
 Paid Amount: 1,255.00

Village of Palmetto Bay
 FLORIDA

April 4, 2013

Humberto & Talia Sezumaga
 8130 SW 138th Street
 Palmetto Bay, FL 33157

Village of Palmetto Bay, Florida
 Planning and Zoning - pzzoneappl
 002545-0016 Wanner F. 04/04/2013 03:25PM
 P&Z ZONING APPLICATIONS
 Paid Amount: 34.77

Re: Direct Costs to be reimbursed to the Village of Palmetto Bay for Zoning Hearing
 VPB-13-008 for 8130 SW 138th Street, Palmetto Bay, FL.

Dear Mr. & Ms. Sezumaga:

The Village of Palmetto Bay requires, per ordinance, reimbursement of direct costs incurred to process zoning applications for zoning hearings. Application VPB-13-008 is scheduled for the zoning hearing of Monday, May 20th, 2013. The following costs are to be reimbursed to the Village:

Application Fee:	\$	1255.00
Mailings to property owners within a 500 foot radius @ \$.57 each x 61:	\$	34.77
TOTAL		\$ 1,289.77

Please submit your check payable to the Village of Palmetto Bay no later than Friday, April 5th, 2013 by the closing business day. Scheduling of this application will be withheld until payment of the required fee is received.

If you have any questions concerning this matter, please do not hesitate to contact the Division of Planning and Zoning at (305) 259-1271.

Sincerely,

Efrén Nunez
 Zoning Administrator



Village of Palmetto Bay
FLORIDA

April 4, 2013

Humberto & Talia Sezumaga
8130 SW 138th Street
Palmetto Bay, FL 33157

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Sincerely,

Etrén Nunez
Zoning Administrator