

SITE INFORMATION		
GROSS SIZE:	144,619 SF = 3.32 ACRES	
ZONING DESIGNATION:	PALMETTO BAY DOWNTOWN URBAN VILLAGE (DUV) SECTOR: DOWNTOWN GENERAL (DG)	
STREET HIERARCHY:	US-1 - 'A' STREET 183 STREET - PRIORITY 'B' STREET NEW NETWORK STREET:	
USE:	MIX-USED BUILDING	
DENSITY:	ALLOWED: BASE AT 24 /ACRE = 80 UNITS RESERVE AT 36 /ACRE = 120 UNITS TOTAL UNITS = 200 UNITS	PROVIDED: 200 RESIDENTIAL UNITS 60 UNITS/ACRE
COMMERCIAL:	ALLOWED: AT GROUND FLOOR	PROVIDED: RETAIL AREA 3,400 SF LIVE/WORK 9,135 SF OFFICE/BUSINESS 3,100 SF
BUILDING HEIGHTH:	ALLOWED : 5 STORIES /8 WITH BONUS	PROVIDED: 5 STORIES
BUILDING PLACEMENT:	BUILT-TO-LINE US-1: PRIMARY: SECONDARY: (1ST & 2ND FL) (3RD & UP) 50' CL 65' CL TYPICAL STREET (TS) PRIMARY: SECONDARY: (1ST & 2ND FL) (3RD & UP) 30' CL 40' CL	PROVIDED: VARIES (SEE SITE PLAN) 30' CL & 35' CL
BUILDING SETBACKS:	REQUIRED: STREET FRONT: 0FT STREET SIDE: 0FT SIDE INTERIOR: 0FT REAR SIDE: 50FT	PROVIDED: 0FT PROVIDED: 15FT PROVIDED: 10FT PROVIDED: 50"2
ARCHITECTURAL STANDARDS:	BUILDING TYPES PERMITTED: FLEXIBLE BUILDING COMMERCIAL USE AT GROUND	PROVIDED FLEXIBLE BUILDING COMMERCIAL USE AT GROUND
PARKING STANDARDS:	MULTI-FAMILY: 750 SF AND LESS - 1 PS 750 SF AND MORE - 1.5 PS OFFICE SPACE 3,100 SF 1 PS PER 400 SF RETAIL SPACE 3,400 SF 1PS PER 300 SF LIVE/WORK (OFFICE) 9,135 SF 1 PER 400 SF	PROVIDED: 1B+DEN - 8 12.0PS STUDIO - 43 43 PS 1B/1B - 73 73 PS 2B/2B - 67 100.5 PS 3B/2B - 8 12 PS 3,100 SF/ 400 7.75 PS 3,400 SF/ 300 11.3 PS 9,135 SF/ 400 22.83 PS
PARKING CALCULATIONS:	REQUIRED: 282 PS	PROVIDED: 285 PS
BICYCLE PARKING	REQUIRED: 1 PER 10 REQ'D P.S. 29 25% LOCATED ON ALONG PRIMARY STREETS	PROVIDED: 30 BIKE SPACES 17 BIKE SPACES ALONG PRIMARY STREET = 56 %
FRONTAGE:	REQUIRED: DG MIN. 80% = 154-7"	PROVIDED: 190'-3" = 98.2%
PRIVATE OPEN SPACE:	REQUIRED: 10% MIN = 8,502 SF	PROVIDED: 13,300 SF
BUILDING SIZE AND MASSING:	REQUIRED: BASE ELEMENT: AT BUILT-TO LINE SENCONDARY MASSING ELEMENT: 15 FT BACK AT PRIMARY FRONTAGE 10 FT ALONG ALL OTHER SIDE	PROVIDED: BASE ELEMENT: AT BUILT-TO LINE SECONDARY MASSING ELEMENT: 15 FT BACK 10 FT BACK

BUILDING HEIGHT:		
ALLOWED 8 STORIES WITH BONUS	PROVIDED 5 STORIES	HEIGHT 52'-4"
NOTE: HEIGHT MEASURED FROM EXISTING SIDEWALK LEVEL +12.78' TO MAIN ROOF SLAB HEIGHTS ON OTHER STREET FRONTAGE WILL BE NO HIGHER THAN HEIGHT PROVIDED IN THIS TABLE.		
BASEMENTS: SECTION 4.03 GENERAL DEVELOPMENT PARAMETERS SECTION H.3.(a) BASEMENTS SHALL NOT BE CONSIDERED TOWARDS THE BUILDING HEIGHT (STORIES), WHEN THE FINISHED SURFACE OF THE FLOOR, ONE STORY ABOVE THE BASEMENT IS LESS THAN FOUR (4FT) FEET ABOVE GRADE		
DENSITY		
ALLOWED RESIDENTIAL UNITS: BASE AT 24/ ACRE = 80 UNITS RESERVE AT 36/ ACRE = 120 UNITS TOTAL UNITS = 200 UNITS	PROVIDED UNITS: 200 RESIDENTIAL UNITS 60 UNITS/ ACRE	

PERCENTAGE GLAZING ON STREET FRONTAGES			
STREET	AREA OF WALL	PROVIDED	
PRINCIPAL FRONTAGE S. DIXIE HWY/US-1	8,645 SF	2,738 SF	31 %
SW 183 ST.	23,580 SF	7,091 SF	30.1 %

B - FLEX BUILDING 8.e.iv A MINIMUM OF 30% OF THE TOTAL BUILDING FACADE SHALL BE FENESTRATED WITH WINDOWS ALONG ALL STREET FRONTAGES

COMMERCIAL/OFFICE AREA AT GROUND FLOOR			
			TOTAL SQUARE FOOTAGE
LIVE / WORK UNITS	L/W 1B/1B 650SQ.FT MIN. 5	L/W 2B/2B 850SQ.FT MIN. 6	9,135 SF (11 L/W)
RETAIL SPACE			3,400 SF
OFFICE/BUSINESS			3,100 SF
			15,635 SF

RESIDENTIAL UNIT BREAKDOWN						
FLOOR / UNIT TYPE	1B+ DEN 800SQ.FT	STUDIO 625SQ.FT	1B/1B UNIT 650SQ.FT	2B/2B UNIT 850SQ.FT	3B/2B UNIT 1100SQ.FT	TOTAL
2ND FLOOR	2	13	23	10	2	50
3RD FLOOR	2	10	17	19	2	50
4TH FLOOR	2	10	17	19	2	50
5TH FLOOR	2	10	17	19	2	50
TOTAL	8	43	73	67	8	200 UNITS

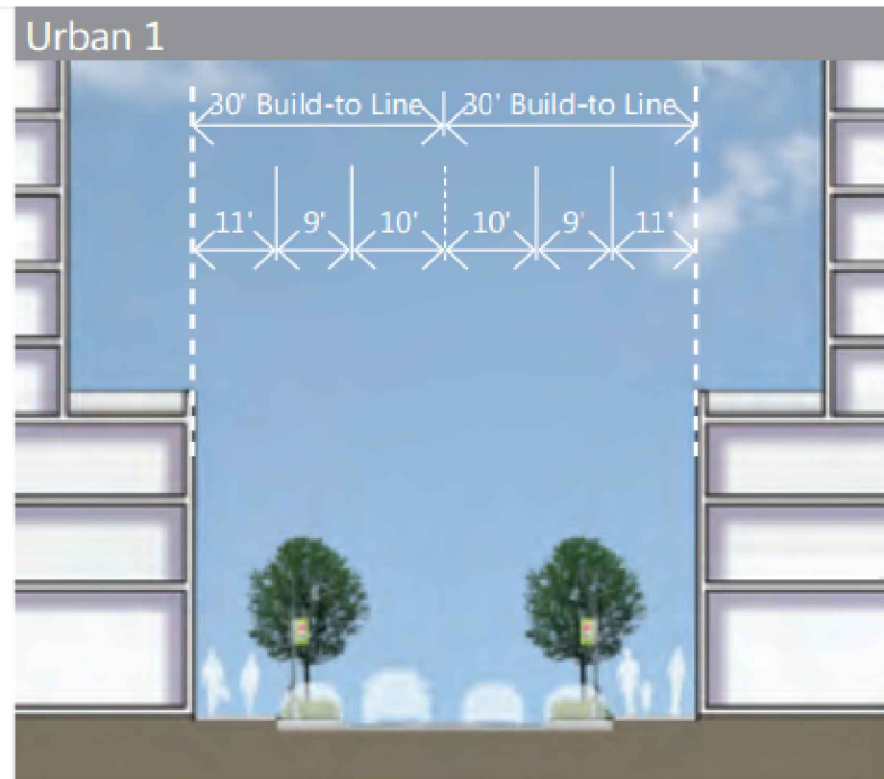
LEGAL DESCRIPTION:
VILLAGE OF PALMETTO BAY, DADE COUNTY, FLORIDA

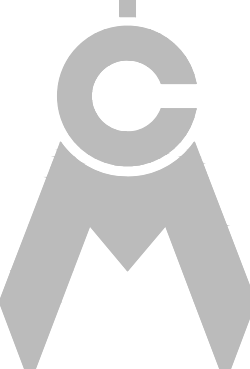
32 55 40 MORNINGSIDE ACRES PB 46-7 LOT 1 LESS RW & LOTS 2 & 3 & PORT OF RD LYG NE & ADJ CLOSED BY RES 9519 & ALL OF LOTS 4 & 5 & NWLY 50.5FT OF LOT 6 BLK 10 & PT OF SE1/4 OF SEC 32 55 40 DESG BEG NE COR OF LOT 1 BLK 10 PB 46-7 TH NELY 145FT NWLY200FT SWLY145FT SELY200FT TO POB LESS STATE RD R/W PER PB 50-89 LOT SIZE IRREGULAR FIAU 30-5032-007-1030

FOLIO NUMBER:
33-5032-007-1030

SITE NOTES:

- BUILDING SHALL BE SEEKING LEED CERTIFICATION (LEADERSHIP IN ENERGY AND ENVIRONMENTAL DESIGN) OR FLORIDA GREEN BUILDING COALITION GREEN RATING SYSTEM (FGBC)
- SIGNS AND EXT. LIGHTING:
ALL SITE SIGNS AND BUILDING SIGNS UNDER SEPARATE PERMIT; NOT PART OF THIS SUBMITTAL ALL EXTERIOR LIGHTING UNDER SEPARATE PERMIT; NOT PART OF THIS SUBMITTAL
- DERM APPROVAL SHALL BE OBTAINED PRIOR TO ISSUANCE OF BUILDING PERMIT AND SHALL COMPLY WITH AN APPROVAL FOR THE PROVISIONS FOR THE DISPOSITION OF OPEN SPACE AND A LANDSCAPE AND IRRIGATION PLAN INDICATING THE LOCATION, TYPE, SIZE AND DESCRIPTION OF ALL PROPOSED LANDSCAPE MATERIALS INCLUDING THE LIMITS OF EXTEND OF TREE REMOVAL OR TREE PROTECTION PURSUANT TO DIVISION 30-100
- SEE CIVIL ENGINEER DRAWINGS REGARDING PROVISIONS FOR THE ADEQUATE DISPOSITION OF NATURAL AND STORM-WATER IN ACCORDANCE WITH THE ADOPTED DESIGN CRITERIA AND STANDARDS OF THE VILLAGE.
- A CERTIFIED GEOTECHNICAL PERCOLATION TESTING TO ESTABLISH WATER DRAINAGE THROUGH SOIL SHALL BE PROVIDED AT TIME OF THE BUILDING PERMIT
- PROVISIONS FOR THE ADEQUATE CONTROL OF DUST, EROSION AND SEDIMENTATION, INDICATING THE PROPOSED TEMPORARY AND PERMANENT CONTROL PRACTICES AND MEASURES THAT WILL BE IMPLEMENTED DURING ALL PHASES OF CLEARING, GRADING, AND CONSTRUCTION SHALL BE PROVIDED PRIOR TO COMMENCEMENT OF CONSTRUCTION
- IMPACT FEES AND BONUS:
DEVELOPER TO SUBMIT PAYMENT FOR IMPACT FEES AND BONUSES PRIOR ISSUANCE OF A BUILDING PERMIT.
PRIOR TO THE ISSUANCE OF A BUILDING PERMIT AUTHORIZING THE DEVELOPMENT OF THE RECEIVER SITE, DEEDS OF TRANSFER, OR OTHER APPROPRIATE LEGAL INSTRUMENT, SHALL BE RECORDED IN THE CHAIN OF TITLE OF ALL AFFECTED PROPERTIES CONTAINING A COVENANT PROHIBITING THE FURTHER USE OF THE DEVELOPMENT RIGHT SO ALLOCATED OR TRANSFER.
- UNDERGROUND UTILITIES:
ALL NEW UTILITIES OTHER THAN FIRE HYDRANTS SHALL RUN UNDERGROUND AND BE ACCESSED ACCORDING TO THE VILLAGE STANDARDS.
- NEW STREETS:
REFER TO CIVIL ENGINEER FOR PLANS AND DETAILS OF STREET IMPROVEMENTS ON EXISTING 183RD STREET
- FOR ALL LANDSCAPE RELATED NOTES, REFER TO LANDSCAPE PLANS
- ALL RESIDENTIAL UNITS SHALL BE 12" MINIMUM ABOVE FLOOD LEVEL CRITERIA OR AVERAGE CROWN OF THE ROAD, WHICHEVER IS HIGHER
- A 125 PERCENT OF ESTIMATED COST PERFORMANCE BOND FOR PUBLIC RIGHT OF WAY
- NEW STREET PLAN:
THE NEW STREET PLAN AS PER SECTION 2.03 PRESCRIBED BY THE VILLAGE OF PALMETTO BAY ILLUSTRATIVE VISION PLAN. ALL NEW STREETS SHALL BE LOCATED IN THE SAME GENERAL LOCATION AS SHOWN IN THE NEW STREETS PLAN AND DEVELOPED UNDER THE STANDARDS ESTABLISHED BY THESE REGULATIONS.
DG CODE REQUIRES THE FOLLOWING DUV STREET LAYOUT FOR 183RD STREET.





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DEVELOPER:

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Tel: (305) 663-1002

SOLESTE BAY VILLAGE
AT PALMETTO BAY
18301 SOUTH DIXIE HIGHWAY
PALMETTO BAY, FLORIDA 33157

REV. #	DATE
1	
2	3/16/2017
3	3/24/2017
4	4/11/2017
5	4/28/2017
6	5/31/2017
7	
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PROJECT No.:

DESIGNED BY: O.M.

DRAWN BY:

CHECKED BY: O.M.

ISSUE DATE: 5/31/2017

DRAWING SCALE: AS SHOWN

ARCH. CARMEN T. DIAZ
LIC # AR 96290
5001 S.W. 74th COURT, #100 MIAMI, FL 33155
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STATE OF FLORIDA
CARMEN T. DIAZ
AR 96290
REGISTERED ARCHITECT

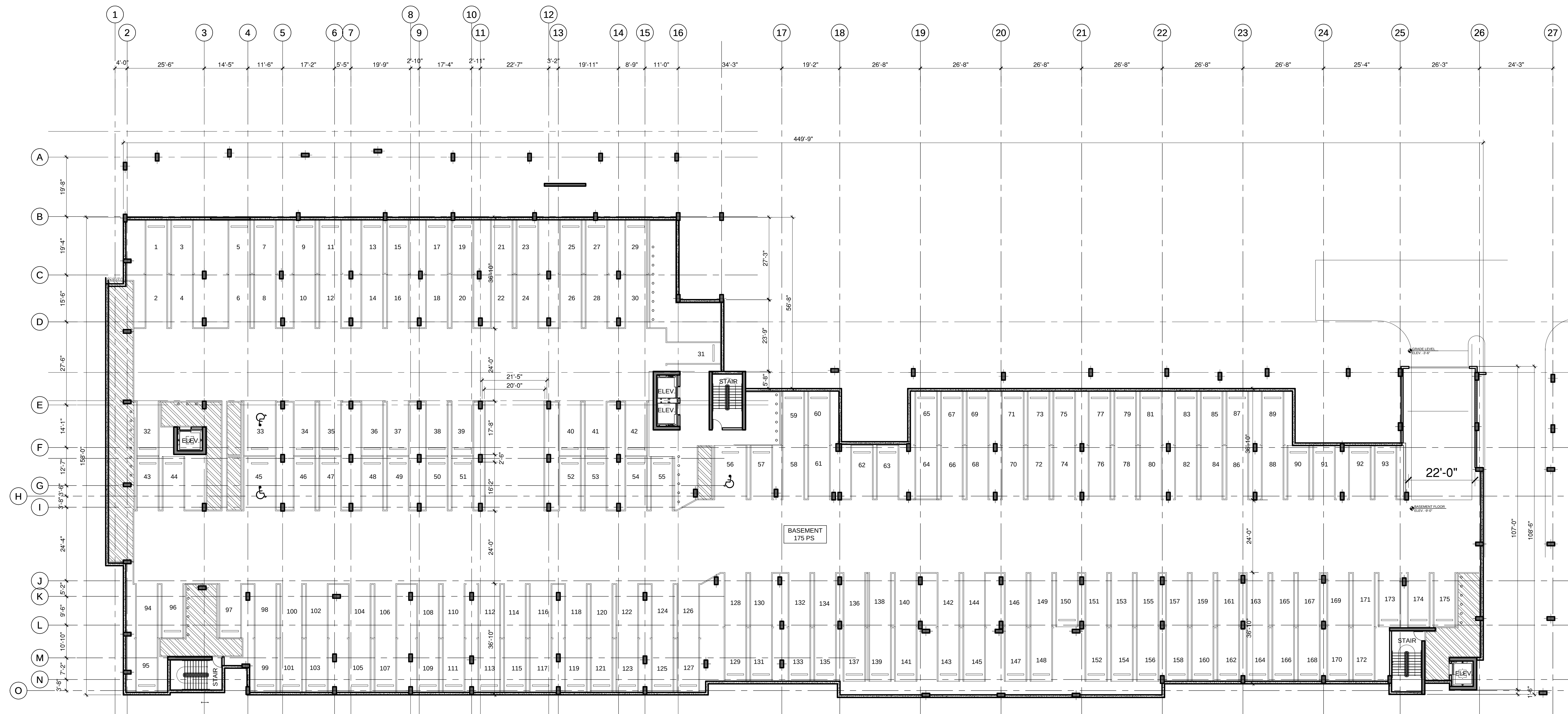
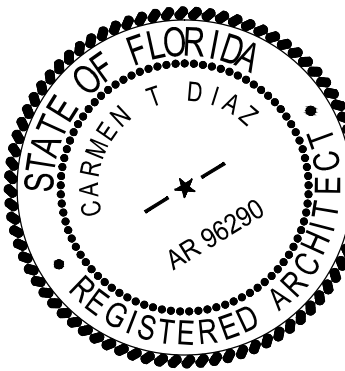
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SOLESTE BAY VILLAGE
AT PALMETTO BAY
18301 SOUTH DIXIE HIGHWAY
PALMETTO BAY, FLORIDA 33157

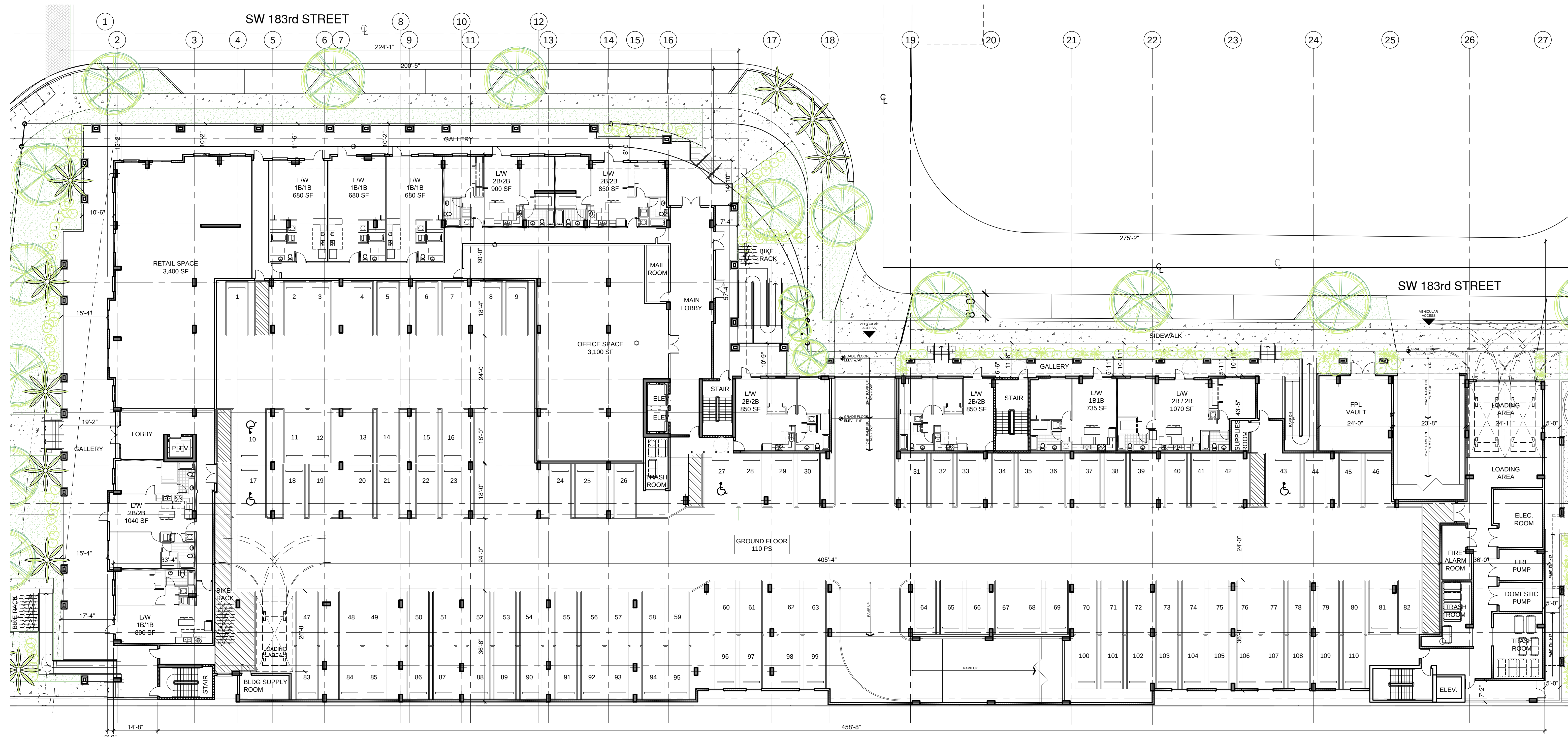
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BASEMENT
SCALE: 1/16" = 1'-0"

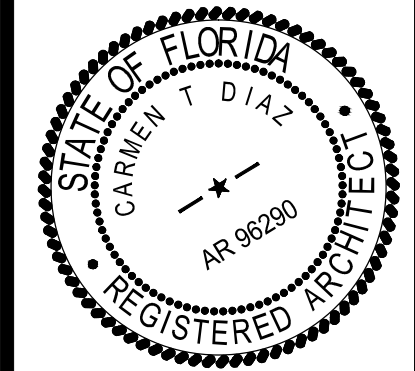


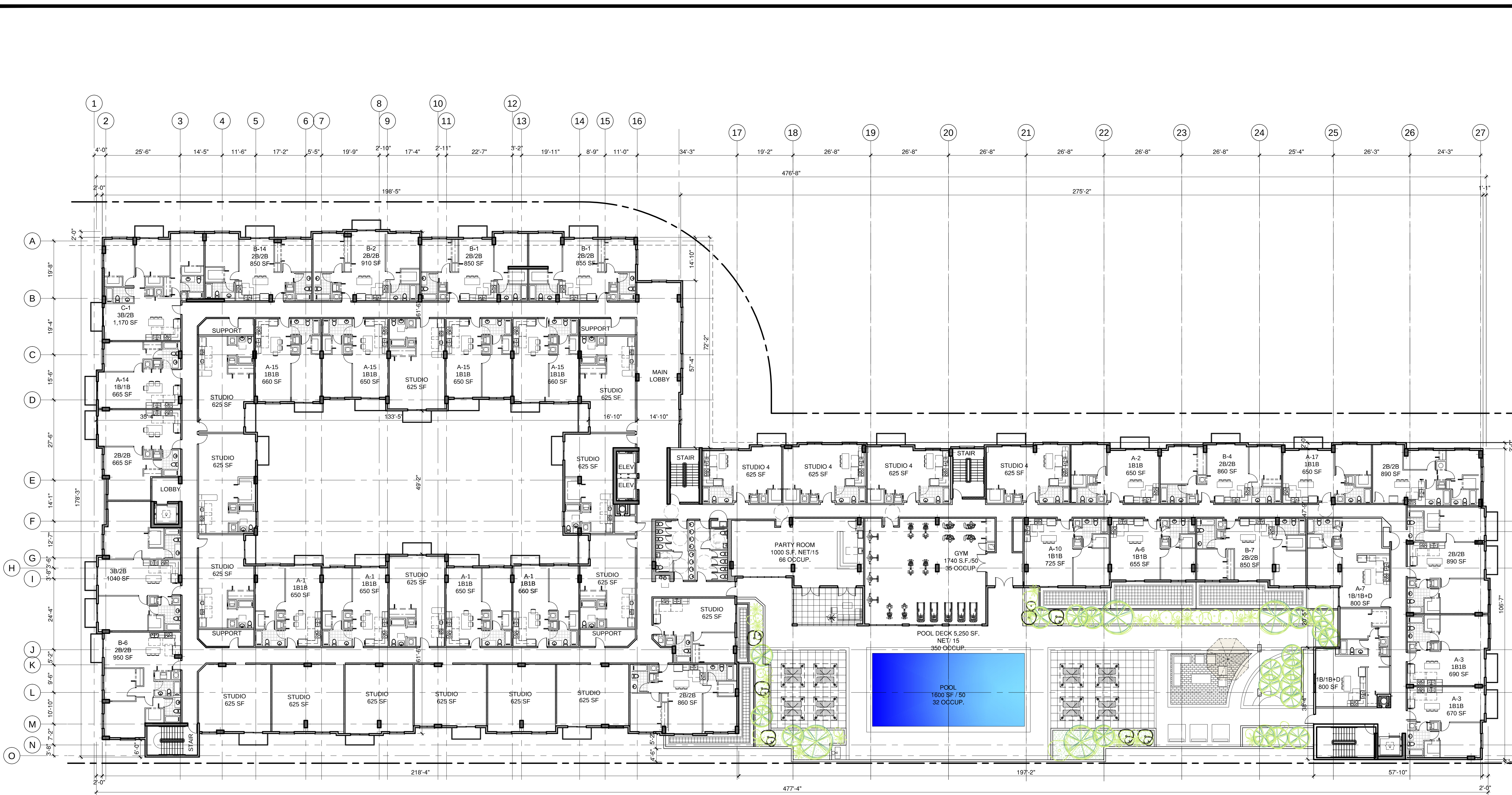
GROUND FLOOR PLAN
SCALE: 1/16" = 1'-0"

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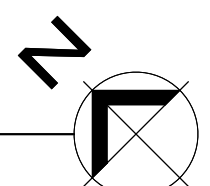
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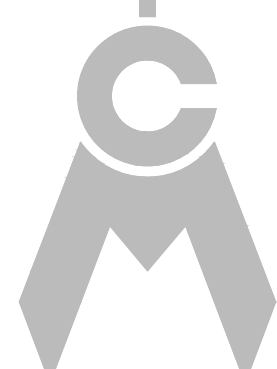




2RD FLOOR PLAN

SCALE: 1/16" = 1'-0"





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SOLESTE BAY VILLAGE

AT PALMETTO BAY

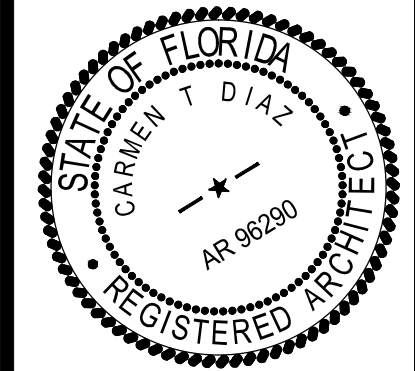
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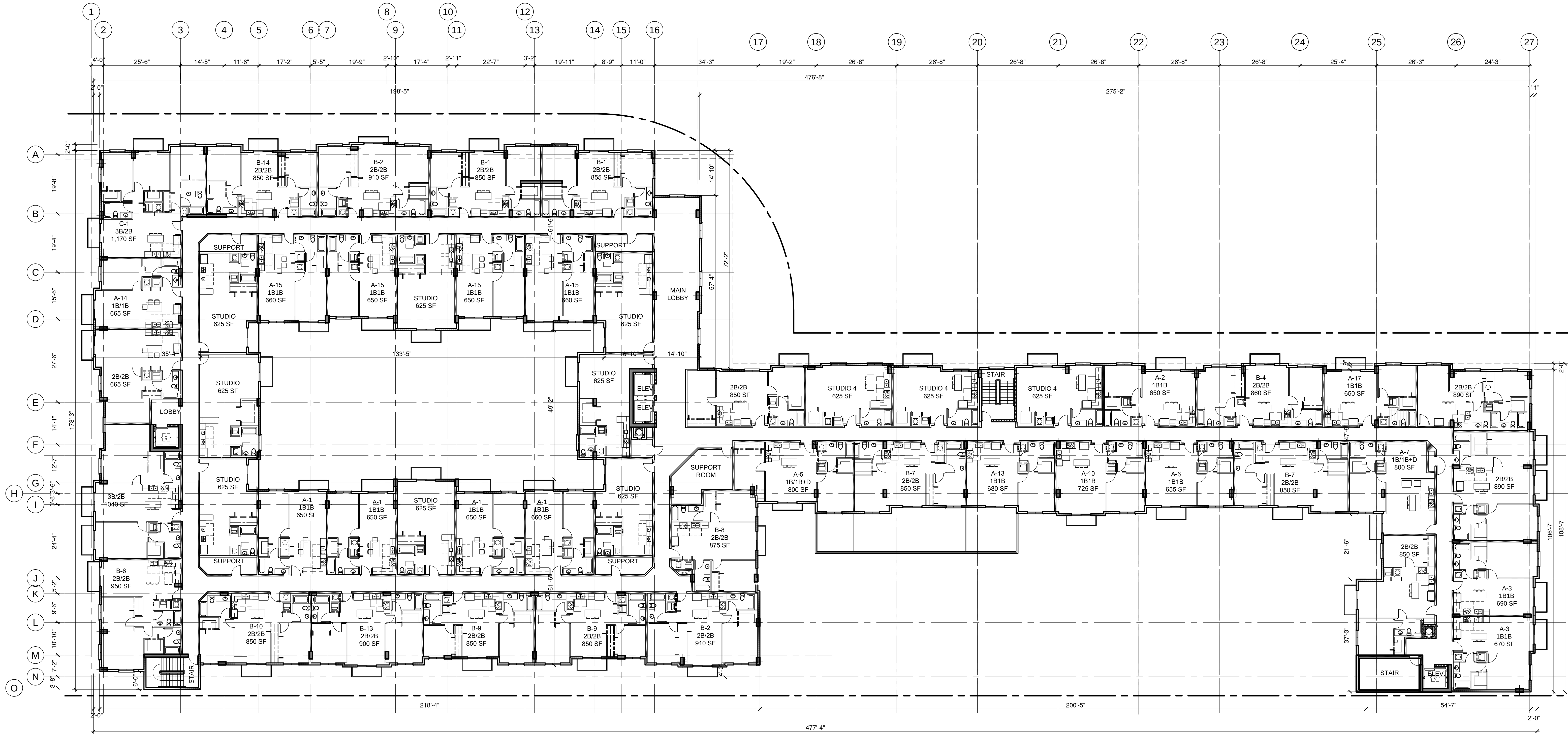
PALMETTO BAY, FLORIDA 33157

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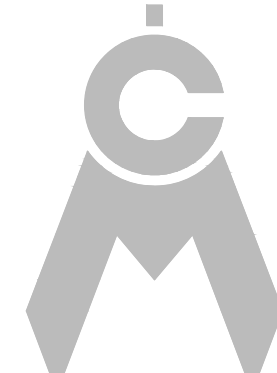
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3TH-4TH-5TH FLOOR PLAN

SCALE: 1/16" = 1'-0"



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SOLESTE BAY VILLAGE

AT PALMETTO BAY
18301 SOUTH DIXIE HIGHWAY
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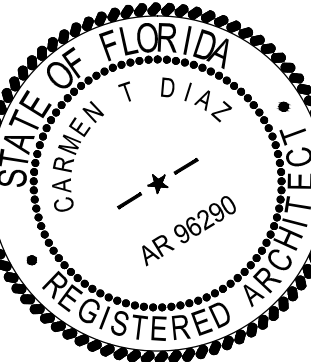
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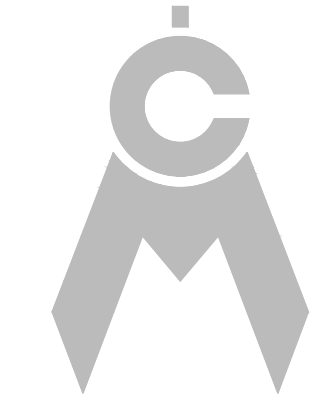
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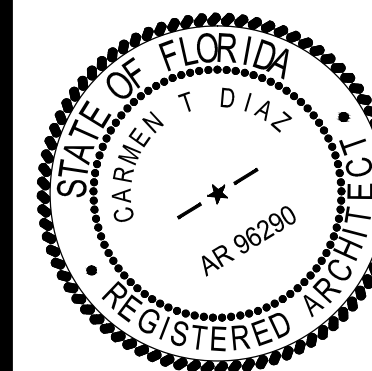
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AT PALMETTO BAY
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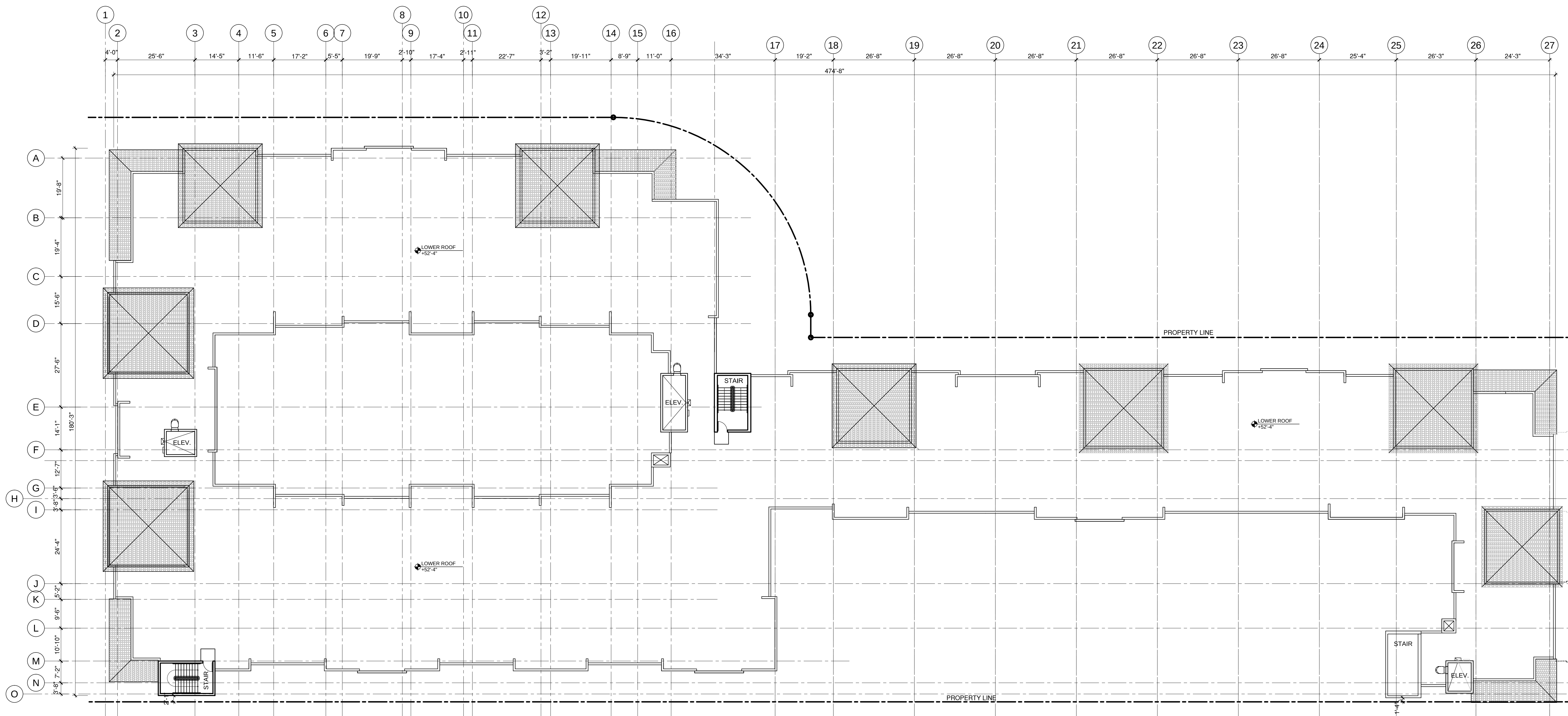
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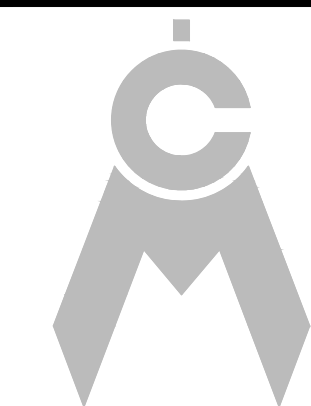
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LOWER ROOF PLAN

SCALE: 1/16" = 1'-0"





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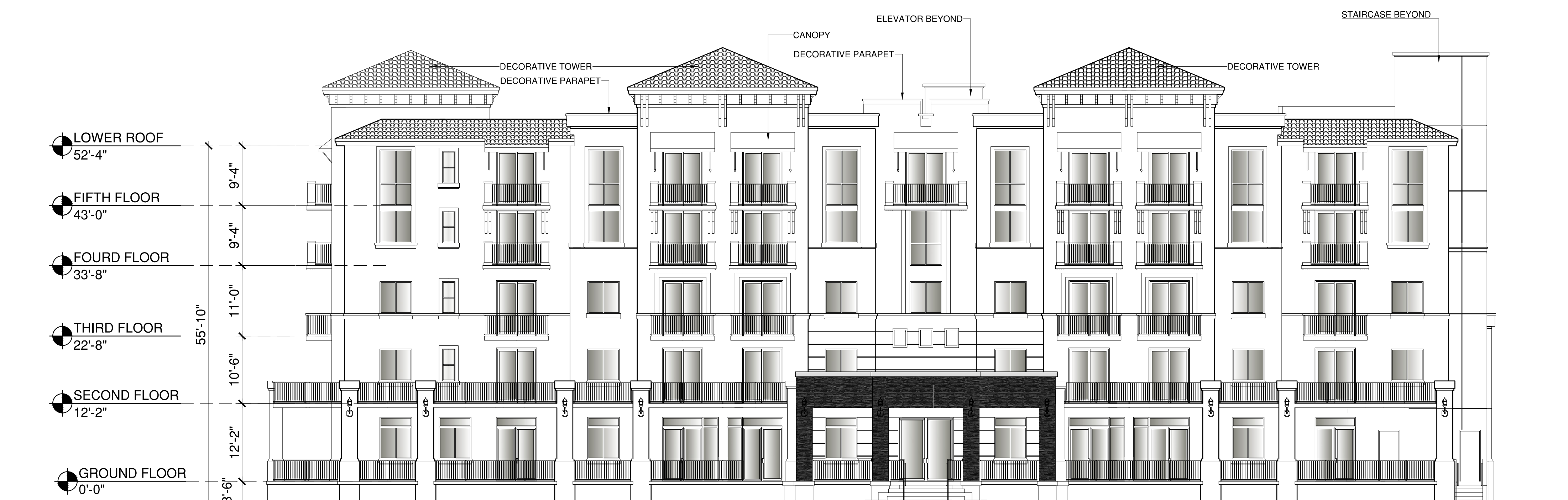
SOLESTE BAY VILLAGE

AT PALMETTO BAY
18301 SOUTH DIXIE HIGHWAY
PALMETTO BAY, FLORIDA 33157



EAST ELEVATION

SCALE: 3/32" = 1'-0"



WEST ELEVATION (SOUTH DIXIE HIGHWAY)

SCALE: 3/32" = 1'-0"

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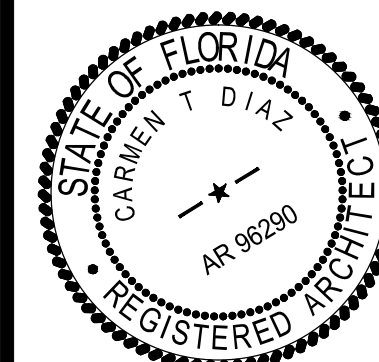
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A-11



NORTH ELEVATION (PARTIAL)

SCALE: 3/32" = 1'-0"



NORTH ELEVATION

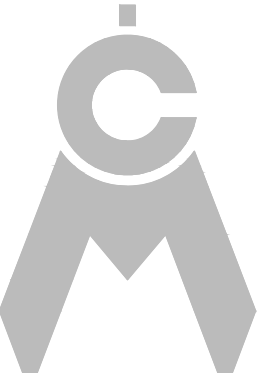
SCALE: 1/64" = 1'-0"

PERCENTAGE OF GLAZING			
STREET	AREA OF WALL	PROVIDED	
PRINCIPAL FRONTAGE S. DIXIE HWY/US-1	15,966 SF	4,980 SF	31.19 %
SW 183 ST.	42,931 SF	13,100 SF	30.51 %
EAST ELEVATION.	9,386 SF	2,816 SF	30.00 %



NORTH ELEVATION (PARTIAL)

SCALE: 3/32" = 1'-0"



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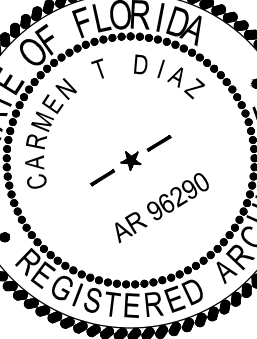
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A-12



SOUTH ELEVATION (PARTIAL)

SCALE: 3/32" = 1'-0"



SOUTH ELEVATION

SCALE: 1/64" = 1'-0"



SOUTH ELEVATION (PARTIAL)

SCALE: 3/32" = 1'-0"

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