



Carlos A. Gimenez, Mayor

Department of Regulatory and Economic Resources
Environmental Resources Management
701 NW 1st Court, 6th Floor
Miami, Florida 33136-3912
T 305-372-6574 F 305-372-6479

miamidade.gov

TREE REMOVAL PERMIT

Permit Number: 7683

Issuance Date: December 22, 2016

Project Manager: Luis R. Moreno

Expiration Date: December 22, 2018

Permittee: FCI Palmetto Bay, LLC

Authorized Representative:

Address:

Contact:

Contact phone #:

E-mail address:

Project Location: 17945 SW 97th Ave, Palmetto Bay, Florida.

Folio (s): 33-5033-000-0880

Bond Required: Yes (\$17,701.44)

Permit Fees: \$780.00

Approved Work:

- Removal of 55 non-specimen (regular) trees and 23 specimen-sized trees in accordance with the site plans entitled "Atlantico at Palmetto Bay, Palmetto Bay, Miami, Florida", prepared by Hugh Johnson, RLA# 855 on December 6th, 2016 and stamped approved by the Miami-Dade County Tree & Forest Resources Section on December 8th, 2016. The site plans have been attached herein as **Exhibit 1**.

Total tree canopy approved for removal is 25,462 square feet.

- The remaining four (4) specimen trees are to be protected and preserved in their current location in accordance with the restrictive covenant entitled "Covenant Running with the Land of FCI Palmetto Bay, LLC", recorded on December 21, 2016, and incorporated herein by reference as **Exhibit 2**.

REPLANTING REQUIREMENTS

To replace lost tree canopy, the permittee shall replant 44,254 sq. ft. of tree canopy. The replanting shall be performed in accordance with the landscape plans included in the above referenced approved site plans.

A minimum of 42,422 sq. ft. must be native to Miami-Dade County. No more than 30% of the replacement trees shall be palms. There shall be a minimum of six (6) species of trees. The number of each species to be planted shall be proportional to the number of species required. All replacement trees shall have a minimum quality of Florida No. 1 grade or better.

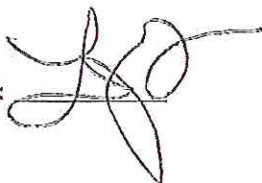
All replacement trees shall have a minimum quality of Florida No. 1 grade or better. Replanting shall take place within 24 months of the approved tree removal work conducted under this permit and prior to the permit expiration date. The replanting shall be consistent with the approved landscape plans and species list provided. Any changes to the canopy replacement location or species list shall be approved in writing by DERM.

Replanting must be verified and approved by DERM. The applicant shall notify the DERM project manager when the replanting is complete and schedule a final inspection (two weeks notice is required).

A performance/mitigation bond for \$17,701.44 is required to ensure implementation of the landscape plan and compliance with the conditions of this permit. The landscape material installation must be completed, verified, and approved by DERM prior to the release of the bond.

A contribution to the Tree Trust Fund is required for \$15,033.69 to satisfy a portion of the specimen tree mitigation requirements pursuant to Chapter 24 of the Miami-Dade County Code. This contribution covers the irreplaceable loss of the aesthetic and environmental contributions of specimen trees authorized for removal in this permit. The funds are earmarked for planting trees on publicly owned property.

Reviewed by:



Miami-Dade County
Department of Regulatory & Economic Resources



SPECIAL PERMIT CONDITIONS

1. During all site work and construction, no soil, vehicles, heavy equipment (such as bulldozers or backhoes), fill, building materials, construction debris, or dead vegetation shall be placed, stored, or deposited within the areas of protective barriers, nor shall there be disposal of any waste material such as paints, oils, solvents, asphalt, concrete, mortar or any other material harmful to trees or understory plants within the areas surrounded by protective barriers. Natural grade shall be maintained within protective barriers. In the event that the natural grade of the site is changed as a result of site development such that the safety of the tree(s) may be endangered, tree wells or retaining walls will be required.
2. Protective barriers shall be constructed around the canopy drip line of the covenanted specimen trees prior to the commencement of construction activities on-site. The protective barriers shall be constructed of wood, plastic or metal and shall be a minimum of four (4) feet above ground level and be placed no less than six (6) feet (radius distance) from the trunk of any protected tree or cluster of trees. Protective barriers shall be in place prior to the start of any construction, must remain in place until development is completed and the Department has authorized their removal.
3. A barrier inspection shall be required prior to commencement of any work or construction on the property that is subject to this permit, including but not limited to any preconstruction clearing or grading of the parcel. A Barrier Inspection Request form shall be submitted at least two (2) weeks before commencement of any work pursuant to this condition and work is prohibited until the barrier inspection has been conducted and the barriers approved by DERM.
4. Fences and walls shall be constructed to avoid disturbance to any protected tree(s). Post holes and trenches located close to the tree(s) shall be dug by hand and adjusted as necessary, using techniques such as discontinuous footings, to avoid damage to major roots.
5. The cutting, pruning or trimming of trees shall be done in accordance with the most recent American National Standards (ANSI) A-300 Standard Practices for Tree Care Operations. All tree cutting, pruning or trimming not done in accordance with the referenced standards shall be considered effective destruction and is prohibited by this condition for the covenanted and replacement trees unless this permit is modified or prior written approval has otherwise been obtained from DERM.
6. Above ground as well as underground utility lines, including but not limited to lighting, electrical and gas lines, and plumbing are prohibited within the critical root zone of the covenanted specimen trees. Underground utility lines shall

be placed outside the areas surrounded by protective barriers. If placement is not possible, disturbance shall be minimized by using techniques such as tunneling or overhead utility lines.

7. The following specimen trees are to remain: One (1) Live oak (*Quercus virginiana*) and three (3) mahogany trees (*Swietenia mahagoni*) labeled as 1, 28, 29, and 34, respectively on the above referenced approved tree survey. All work shall be conducted in a manner that avoids adverse environmental impacts to the covenanted specimen trees depicted in Exhibit 2 of this permit.
8. The onsite canopy replacement requirements of 44,254 sq. ft. shall be satisfied prior to this permit's expiration date. Failure to satisfy all canopy replacement requirements prior to the date of permit expiration may result in enforcement action and/or forfeiture of a portion or the entire performance/mitigation bond. Notwithstanding the canopy mitigation requirements of this permit, landscaping shall be installed and maintained in accordance with the minimum landscape requirements of the Miami-Dade County Code and Landscape Manual.

GENERAL PERMIT CONDITIONS

1. This permit does not convey to the permittee or create for the permittee any property right, or any interest in real property, nor does it authorize any entrance upon or activities on property which is not owned or controlled by the permittee.
2. All activities shall be implemented as set forth in the landscape plans, specifications and performance criteria as approved by this permit. Any deviation from the permitted activity and the conditions for undertaking that activity shall constitute a violation of this permit.
3. This permit and landscape plans shall be kept on-site during all phases of preconstruction activities such as demolition, clearing of parcel, earthwork, re-grading and through construction. The complete permit shall be available for review at the work site upon request by DERM staff. The permittee shall require the contractor to review the complete permit prior to commencement of the activity authorized by this permit.
4. Pursuant to Section 24-49 of the Miami-Dade County Code and the minimum requirements of the Miami-Dade County Landscape Ordinance, prohibited plant species shall be removed or eradicated from each property upon development or redevelopment. This condition shall not apply to properties that are not being developed or redeveloped. A prohibited plant species list is included below. These prohibited species shall be removed upon development or redevelopment and within one year of permit issuance. Furthermore, prohibited plant species shall not be sold, propagated, planted, imported or transported on property that is subject to this permit unless a variance has been granted by Miami-Dade County.

Abrus precatorius (Rosary pea)
Acacia auriculiformis (earleaf acacia)
Adenanthera pavonina (red sandalwood)
Albizia lebeck (Woman's tongue)
Antigonon leptopus (Coral vine)
Ardisia crenata (coral ardisia)
Ardisia elliptica (shoebutton ardisia)
Bischofia javanica (bishopwood)
Casuarina spp. (Australian pine)
Cestrum diurnum (Day jessamine)
Cinnamomum camphora (Camphortree)
Colubrina asiatica (Asian nakedwood)
Cupaniopsis anacardifolius (Carrotwood)
Dalbergia sissoo (Indian rosewood)
Dioscorea alata (White yam)
Dioscorea bulbifera (Air potato)
Elchornia crassipes (Water-hyacinth)
Ficus altissima (Council tree)
Ficus benghalensis (Banyan tree)
Ficus microcarpa (Indian laurel)

Flacourtia indica (Governor's plum)
Hydrilla verticillata (hydrilla)
Hygrophila polysperma (Indian swampweed)
Hymenachne amplexicaulis (West Indian marsh grass)
Imperata cylindrica (Cogongrass)
Ipomoea aquatica (Water-splach)
Jasminum dichotomum (Gold Coast jasmine)
Jasminum fluminense (Brazilian jasmine)
Leucaena leucocephala (lead tree)
Ludwigia peruviana (Peruvian primrosewillow)
Lygodium spp. except *L. palmatum*
Macfadyena unguis-cati (Catclaw vine)
Melaleuca quinquenervia (Punk tree)
Melia azedarach (Chinaberry)
Merremia tuberosa (yellow morning-glory)
Mikania micrantha (Mile-a-minute, bittervine)
Mimosa pigra (Black mimosa)
Neyraudia reynaudiana (Burmareed)
Paederia spp. (Sewervine, skunkvine)
Panicum repens (Torpedograss)

Pennisetum purpureum (Elephantgrass)
Pistia stratiotes (Water lettuce)
Pueraria montana var. *lobata* (Kudzu)
Rhodomyrtus tomentosa (Rose myrtle)
Rhynchelytrum repens (Natal grass)
Ricinus communis (castorbean)
Sapum sebiferum (Chinese tallowtree)
Scaevola taccada (Beach naupaka)
Schefflera actinophylla (Umbrella tree)
Schinus terebinthifolius (Brazilian pepper)
Senna pendula var. *glabrata* (climbing cassia)
Solanum tamnecense (Aquatic soda apple)
Solanum viarum (Tropical soda apple)
Tallpariti tiliaceum (Mahoe, sea hibiscus)
Tectaria incisa (Incised halberd fern)
Thespesia populnea (Seaside mahoe)
Tribulus cistoides (Puncture vine)
Urochloa mutica (Paragrass)

5. Pursuant to Sections 24-49 of the Miami-Dade County Code, each property subject to this permit shall be maintained to prevent the growth or accumulation of all prohibited species including non-native grasses, weeds and undergrowth.
6. The survival of all trees counted towards canopy mitigation shall be ensured to live at least one (1) year from the date the final inspection was passed. If the tree(s) die, they must be replaced by the same Florida grade number one tree of equal or greater size. If the property owner of the mitigated tree(s) changes, the permittee will be held as the responsible party and will be required to replace any destroyed or non-living tree(s).
7. Replanting/relocation must be verified and approved by DERM. The applicant shall notify DERM when the replanting is completed and call to schedule a final inspection (two weeks notice is required).
8. Any contributions made to the Tree Trust Fund to satisfy canopy replacement and specimen tree mitigation requirements shall be used for planting on publicly owned parcels unless otherwise specified.
9. Prior to performing any work that would have the potential to impact underground utilities, the permittee and contractor shall verify the location of all underground and overhead utility lines and verify that no utilities will be damaged by the work. Contact Sunshine 811 One-Call at 811 or on the web: <http://www.sunshine811.com/> to locate underground utility lines. No clearing, excavation, earthwork, tree removal or planting shall commence until the permittee and contractor have verified that utilities will not be damaged by any work.

ALL WORK SHALL BE IN ACCORDANCE WITH THE CONDITIONS CONTAINED HEREIN. THE PERMITTEE IS RESPONSIBLE FOR COMPLIANCE OF ALL CONTRACTORS AND SUBCONTRACTORS WITH THE CONDITIONS AND LIMITATIONS OF THIS PERMIT AS APPLICABLE. EXCEPT AS AUTHORIZED BY THIS PERMIT, ANY PROTECTED TREE(S) THAT ARE REMOVED OR EFFECTIVELY DESTROYED SHALL CONSTITUTE A VIOLATION OF SECTION 24-49 OF THE CODE OF MIAMI-DADE COUNTY AND WILL BE PURSUED AS SUCH. IN ADDITION, ANY NON-COMPLIANCE WITH THE CONDITIONS OF THIS PERMIT WILL SUBJECT THE PERMITTEE AND RESPONSIBLE CONTRACTORS OR INDIVIDUALS TO THE PENALTY PROVISIONS OF SECTION 24-49, 24-30, 24-31 AND 8CC OF THE CODE OF MIAMI-DADE COUNTY.

ISSUANCE OF THIS PERMIT DOES NOT RELIEVE THE PERMITTEE FROM THE REQUIREMENT TO OBTAIN AND COMPLY WITH ALL NECESSARY APPROVALS OR PERMITS FROM THE LOCAL MUNICIPALITY, OR ANY OTHER GOVERNMENT ENTITY HAVING JURISDICTION RELATING TO THE AUTHORIZATIONS CONTAINED HEREIN.

I HAVE READ THE CONDITIONS CONTAINED IN THIS PERMIT AND FULLY UNDERSTAND THEM. IN SIGNING THIS PERMIT, I ACKNOWLEDGE THAT FAILURE TO COMPLY WITH ALL CONDITIONS OF THIS PERMIT MAY RESULT IN PERMIT REVOCATION, BOND FORFEITURE, WITHHOLDING OF MY CERTIFICATE OF OCCUPANCY, AND ENFORCEMENT ACTION AGAINST ME BY THE DEPARTMENT OF REGULATORY AND ECONOMIC RESOURCES. I ASSUME FULL RESPONSIBILITY FOR THE ACTIONS OF ALL MY EMPLOYEES, AGENTS, AND PERSONS UNDER DIRECT OR INDIRECT CONTRACTUAL OBLIGATION TO ME WITH RESPECT TO COMPLIANCE WITH THE CONDITIONS AND LIMITATIONS CONTAINED WITHIN THIS PERMIT.

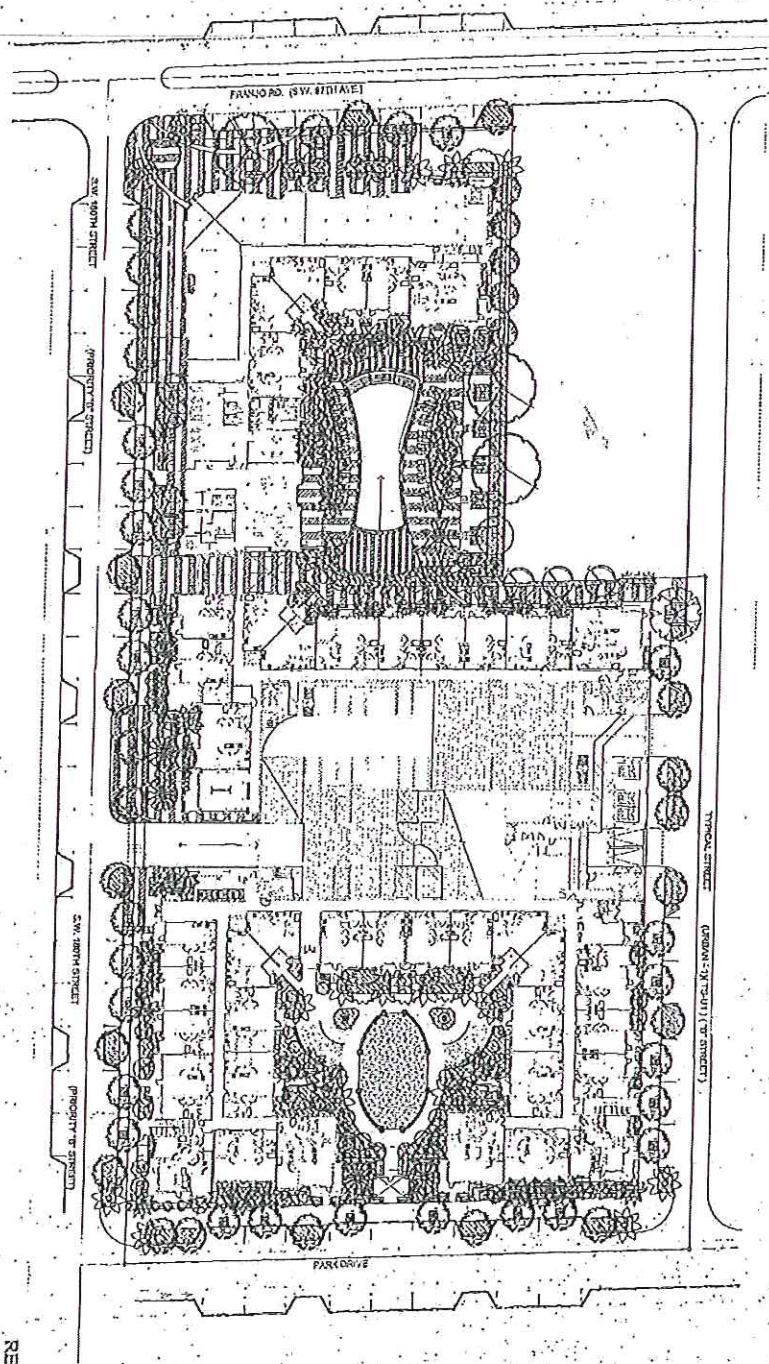
Signature of Owner / Authorized
Representative / Owner's Agent

Print Name

Date Signed

Title

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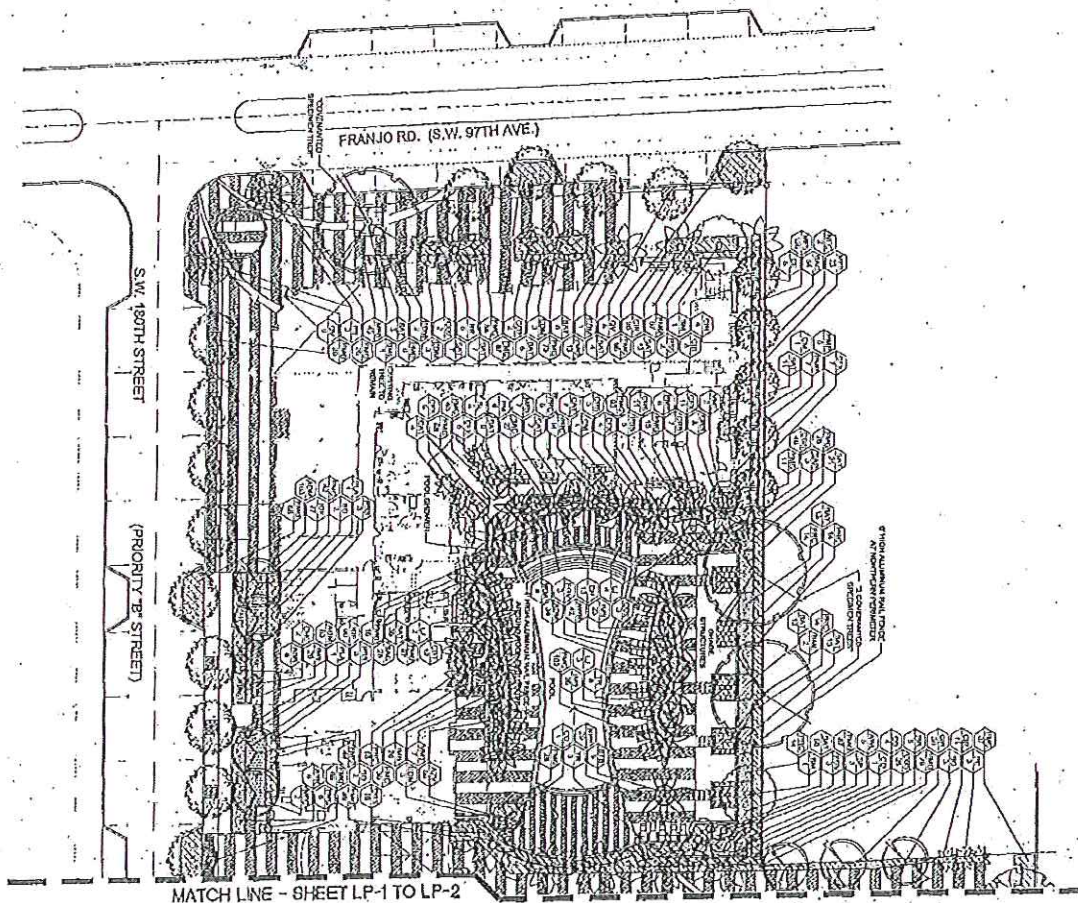
APPROVED
DEC 07 2015
THE CITY OF MIAMI
DEPARTMENT OF PUBLIC WORKS
LANDSCAPE ARCHITECTURE
DIVISION

RECEIVED
DEC 07 2015
THE CITY OF MIAMI
DEPARTMENT OF PUBLIC WORKS
LANDSCAPE ARCHITECTURE
DIVISION



SCALE: 1" = 30'-0"
SITE PLAN SUBMITTAL
DWG 1 OF 3

Overall Landscape Plan Atlantico at Palmetto Bay Palmetto Bay Miami, Florida		DATE: 07/20/2015 PROJECT: ATLANTICO AT PALMETTO BAY DRAWN BY: J. L. L. / J. L. L. CHECKED BY: J. L. L. / J. L. L. COORDINATOR: J. L. L. / J. L. L.		AAL Architectural Alliance Landscape 10000 SW 12th St., Suite 100 Miami, FL 33186 Tel: 305.866.1111 Fax: 305.866.1112 www.aal-landscape.com
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APPROVED
 RECEIVED
 DE 17 2011
 SCALE 1" = 20'-0"
 SITE PLAN SUBMITTAL

LP-2	Atlantic at Palmetto Bay Palmetto Bay Miami, Florida	Architectural Alliance Landscape
	Project Name Project Number Client Name Client Address Client Phone Client Email Client Website	Project Name Project Number Client Name Client Address Client Phone Client Email Client Website

MATCH LINE - SHEET LP-2 TO LP-1

SCHOOL

TYPICAL STREET
(URBAN - 17' TS - 11') (18' STREET)

S.W. 180TH STREET
(PRIORITY 18' STREET)

PARKING

[illegible]

PLANT SCHEDULE 1602A PALMETTO DA

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SITE PLAN SUBMITTAL

LP-5
Sheet 1 of 5

APPROVED
TRULY FORGETTING PROGRAM
Discharge L. M. M. M. M.
Date 12/16/2016
RECEIVED
DEC 01 2016
Central Prison, Department of Corrections
Clemson, South Carolina

Plant List Plan
Atlantico at Palmetto Bay
Palmetto Bay
Miami, Florida

57E PLAN RFD, SUITE
#1 042813
57E PLAN RFD, SUITE
#2 050018
N4 CONSTRUCTION
DOCUMENTS 112918



CFN: 20160731849 BOOK 30354 PAGE 1207
DATE: 12/21/2016 09:18:32 AM
HARVEY RUVIN, CLERK OF COURT, MIA-DADE CTY

COVENANT RUNNING WITH THE LAND OF FCI
PALMETTO BAY, LLC FAVOR OF MIAMI-DADE
COUNTY, FLORIDA, CONCERNING THE
PRESERVATION OF SPECIMEN TREE RESOURCES
LOCATED AT 17945 SW 97 AVENUE, PALMETTO
BAY, FLORIDA 33157-5640

RECEIVED
DEC 16 2016

PER-NATURAL RESOURCES DIVISION
TREE PERMITTING PROGRAM

The undersigned, FCI Palmetto Bay, LLC, being owner(s) of a parcel of real property legally described as set forth in Exhibit A, attached hereto and incorporated herein by reference, and located at 17945 SW 97 Ave, Miami-Dade County, Florida, and furthermore identified for ad valorem tax purposes by all or part of Folio Number(s) 33-5033-000-0880 (hereinafter referred to as the "property") hereby create(s) a covenant, on behalf of the undersigned owner(s), heirs, successors, assigns and grantees, running with the land to and in favor of Miami-Dade County, Florida (hereinafter referred to as the "County"), its successors and assigns, with respect to the Property, as follows:

The undersigned owner(s) covenant(s) to the following:

1. Those trees identified in Exhibit B and whose locations are designated in Exhibit C, that tree survey and landscape plans entitled, "Atlantico at Palmetto Bay, Palmetto Bay, Miami, Florida", prepared by Hugh Johnson, RLA# 855, dated December 6th, 2016, and attached hereto and incorporated herein by reference, shall be preserved in their present locations. For purposes of this covenant, "preservation" shall mean the protection of trunk, branches, and root systems from damage that would result from activities including but not limited to top pruning, limb removal, root pruning, changing of soil grade beneath drip line, and deposition of building materials or fluids beneath the dripline of the tree(s) subject to this covenant.
2. With regard to those trees identified in Exhibit B, all Tree Protection requirements described in Section 24-49.5 of the Code of Miami-Dade County will be strictly adhered to during the development of the property.

CFN: 20160731849 BOOK 30354 PAGE 1208

3. That the undersigned owner(s) is/are the owner(s) in fee of the Property and that no other person or other legal entity of any kind whatsoever has any fee interest in the Property. The undersigned owner(s) covenant(s) and represent(s) that any security interest holder(s) in the Property has/have consented to the execution of this covenant running with the land.
4. At least Five (5) days prior to commencing any work within the dripline of any tree designated in Exhibit "B", the Department of Environmental Resources Management (DERM) shall be notified in writing of such intended work. Any work within the dripline needs prior written consent of DERM. Any and all specific requirements or conditions imposed by DERM with respect to said work and relating to preservation of said tree(s) shall be strictly adhered to.
5. After this Covenant is accepted by the County shall be promptly filed with the Clerk of Court for recording in the official records of Miami-Dade County.
6. All successors, heirs, assigns and grantees with respect to the Property shall be notified in writing of the tree protection and preservation stipulations contained herein and DERM shall receive copies of all such written notifications. The failure of the undersigned owner(s) to provide such written notice to all successors, heirs, assigns, and grantees shall not, however, affect the validity or enforceability of this covenant as to any such successors, heirs, assigns, and grantees.
7. No cancellation, revision, alteration or amendment of this covenant shall be effective without prior approval of the County by the resolution of the Board of County Commissioners.
8. This covenant shall run for the benefit of the citizens of Miami-Dade County, Florida and is subject to specific enforcement by Miami-Dade County, Florida by and through the Director of Environmental Resources Management. In the event that the provisions of

CFN: 20160731849 BOOK 30354 PAGE 1209

this Restrictive Covenant are not complied with, an action at law or in equity may be commenced by Miami-Dade County, by and through the Director of the Department Environmental Resources Management.

9. The undersigned owner(s) shall notify DERM within one (1) month of any conveyance, sale, granting or transfer of the Property or portion thereof, to any heirs, successors, assigns or grantees, including, without limitation, the conveyance of any security interest in said Property to any security interest holder.

CFN: 20160731849 BOOK 30354 PAGE 1210

IN WITNESS WHEREOF, the undersigned, being the Owner(s) of the Property, agree(s) to the Property, agree(s) to the terms of this Covenant, hereby create same as a covenant Running with the Land, and set their hands and seal unto this Covenant this 12th day of December, 2016.

CORPORATION

WITNESSES:

Sign: [Signature]Print: Michael J. GetzSign: [Signature]Print: Manuel MatoSign: [Signature]Print: JAMES ABANDANZACompany: FCI Palmetto Bay, LLC.Sign: [Signature]Print: Juan C. PorroTitle: Vice-PresidentAddress: 2199 Ponce de Leon Blvd
Ste. 201
Coral Gables, FL 33134STATE OF FLORIDA
COUNTY OF MIAMI-DADE

The foregoing instrument was acknowledged before me this 12th day of December, 2016, by Juan C. Porro as Vice-President of FCI Palmetto Bay, LLC., a limited liability company, on behalf of the company. He or she is personally known to me or has produced as identification and did take any oath.



NOTARY PUBLIC:

Sign: [Signature]Print: Lissette Saballos

State of Florida at Large (Seal)

My Commission Expires: _____

THIS INSTRUMENT PREPARED BY:

Luis Morad, ERS.

DERM-ENVIRONMENTAL RESOURCES MANAGEMENT
701 NW 1st Court, 6th Floor
Miami, Florida 33136

CFN: 20160731849 BOOK 30354 PAGE 1211

EXHIBIT A
LEGAL DESCRIPTION

Folio Number: 33-5033-000-0880.

Property Address: 17945 SW 97 AVE
Palmetto Bay, Florida 33157-5640.

Legal description: The south $\frac{1}{2}$ of the South $\frac{1}{2}$ of the Southwest $\frac{1}{4}$ of the Northwest $\frac{1}{4}$ of the Southwest $\frac{1}{4}$, less the South 25' thereof, Section 33, Township 55 South, Range 40 East; and

A portion of the North $\frac{1}{2}$ of the South $\frac{1}{2}$ of the Southwest $\frac{1}{4}$ of the Northwest $\frac{1}{4}$ of the Southwest $\frac{1}{4}$ of Section 33, Township 55 South, Range 40 East, more particularly described as follows: The South 59.31' of the North 524.10' of the East 254.00' of the West 289.00' of the Southwest $\frac{1}{4}$ of the Northwest $\frac{1}{4}$ of the Southwest $\frac{1}{4}$ of the aforesaid Section, Township and Range.

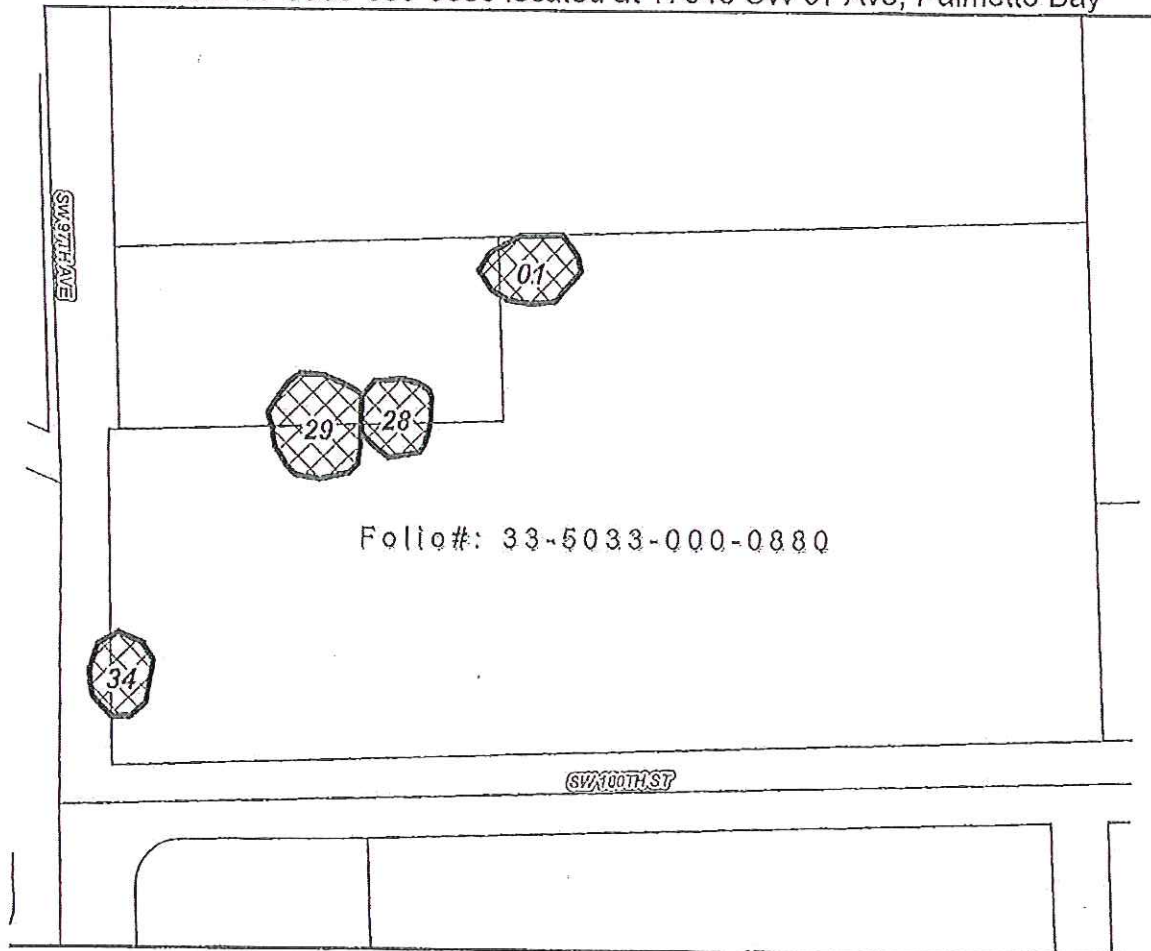
And the North $\frac{1}{2}$ of the South $\frac{1}{2}$ of the Southwest $\frac{1}{4}$ of the Northwest $\frac{1}{4}$ of the Southwest $\frac{1}{4}$ of Section 33, Township 55 South, Range 40 East, less the West 289' thereof.

Said lands situate lying and being in Miami-Dade County, Florida.

EXHIBIT B

CFN: 20160731849 BOOK 30354 PAGE 1212

Legend of Specimen Tree Covenant for the property with
Folio#: 33-5033-000-0880 located at 17945 SW 97 Ave, Palmetto Bay



Tree Number (check Exhibit C)	Gov. Specimen Tree Scientific Name	Trunk DBH	Latitude	Longitude
01	QUERCUS VIRGINIANA	24 inches	25.603533	-80.347471
34	SWietenia MAHAGONY	36 inches	25.602843	-80.348254
28	SWietenia MAHAGONY	27 inches	25.603286	-80.347731
29	SWietenia MAHAGONY	39 inches	25.603269	-80.347881

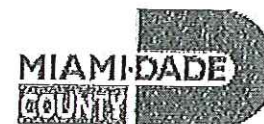
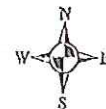
1 inch = 90 feet

0 45 90 180
Feet

Data collected by Luis Moreno
on 9/06/2016
Digital Image dated 2016
Map created by Luis Moreno
on 12/20/2016

Legend

- Covenanted Specimen Trees
- All Streets
- Parcels



CFN: 20160731849 BOOK 30354 PAGE 1213

EXHIBIT B addendum

- Sec. 24-49.5. - Tree protection requirements during construction.

(1)

During site development, protection requirements for trees designated for preservation under an approved tree removal permit shall include, but not be limited to, the following:

(a)

Protective barriers shall be placed around each tree, cluster of trees, or the edge of the preservation area no less than six (6) feet (in radius) from the trunk of any protected tree, cluster of trees, or preservation area unless a lesser distance is specified by the Department. Protective barriers shall be a minimum of four (4) feet above ground level and shall be constructed of wood, plastic or metal, and shall remain in place until development is completed and the Department has authorized their removal. Protective barriers shall be in place prior to the start of any construction.

(b)

Understory plants within protective barriers shall be protected.

(c)

No excess oil, fill, equipment, building materials or building debris shall be placed within the areas surrounded by protective barriers, nor shall there be disposal of any waste material such as paints, oils, solvents, asphalt, concrete, mortar or any other material harmful to trees or understory plants within the areas surrounded by protective barriers.

(d)

Trees shall not be braced in such a fashion as to scar, penetrate, perforate or otherwise inflict damage to the tree.

(e)

Natural grade shall be maintained within protective barriers. In the event that the natural grade of the site is changed as a result of site development such that the safety of the tree may be endangered, tree wells or retaining walls are required.

(f)

Underground utility lines shall be placed outside the areas surrounded by protective barriers. If said placement is not possible, disturbance shall be minimized by using techniques such as tunnelling or overhead utility lines.

(g)

Fences and walls shall be constructed to avoid disturbance to any protected tree. Post holes and trenches located close to trees shall be dug by hand and adjusted as necessary, using techniques such as discontinuous footings, to avoid damage to major roots.

(2)

Exceptions to the provisions of Section 24-49.5(1). Exceptions to the requirements of Section 24-49.5(1) shall be approved only when the permittee receives specific written authorization from the Director or the Director's designee. The Director or the Director's designee shall not issue written approval unless the Director or the Director's designee determines that the affected tree(s) can be adequately protected without meeting the requirements of Section 24-49.5(1), or due to exceptional circumstances it is not practical or reasonable to meet the requirements of Section 24-49.5(1).

(3)

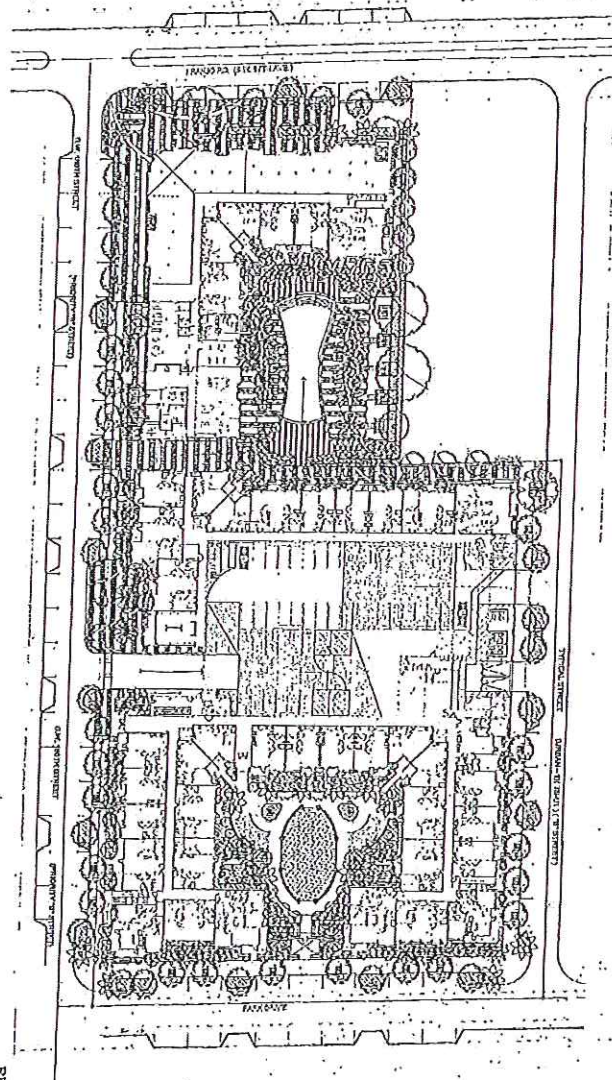
If the requirements of Section 24-49.5(1)(a) through (g) are not adhered to by the permittee and the trees are effectively destroyed, then all such trees shall be replaced according to the standards of Section 24-49.4(2), in addition to being subject to the penalty provisions of Sections 24-29, 24-30 and 24-31 of the Code of Miami-Dade County.

(Ord. No. 04-214, §§ 1, 5, 12-2-04; Ord. No. 08-55, § 2, 5-6-08)

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 rtunities rejected."

EXHIBIT C

Tree Survey and Landscape Plans



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DATE 08-19-2006 BY 60322 UCBAW

APPROVED

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DATE 10/16/06



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Overall Landscape Plan
Atlantico at Palmetto Bay
Palmetto Bay
Miami, Florida



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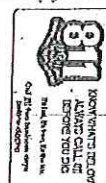


EXHIBIT C
Tree Survey and Landscape Plans

POINTING TREE AND PALM RELOCATION / REMOVAL LIST

Sl. No.	Library Name	Category	Area	HL	Library	Collection	Status
47	Libra Odeia	Open	Open	240	240	60%	Open
48	Library 1	Open	Open	250	250	60%	Open
49	Library 2	Open	Open	260	260	60%	Open
50	Library 3	Open	Open	270	270	60%	Open
51	Library 4	Open	Open	280	280	60%	Open
52	Library 5	Open	Open	290	290	60%	Open
53	Library 6	Open	Open	300	300	60%	Open
54	Library 7	Open	Open	310	310	60%	Open
55	Library 8	Open	Open	320	320	60%	Open
56	Library 9	Open	Open	330	330	60%	Open
57	Library 10	Open	Open	340	340	60%	Open
58	Library 11	Open	Open	350	350	60%	Open
59	Library 12	Open	Open	360	360	60%	Open
60	Library 13	Open	Open	370	370	60%	Open
61	Library 14	Open	Open	380	380	60%	Open
62	Library 15	Open	Open	390	390	60%	Open
63	Library 16	Open	Open	400	400	60%	Open
64	Library 17	Open	Open	410	410	60%	Open
65	Library 18	Open	Open	420	420	60%	Open
66	Library 19	Open	Open	430	430	60%	Open
67	Library 20	Open	Open	440	440	60%	Open
68	Library 21	Open	Open	450	450	60%	Open
69	Library 22	Open	Open	460	460	60%	Open
70	Library 23	Open	Open	470	470	60%	Open
71	Library 24	Open	Open	480	480	60%	Open
72	Library 25	Open	Open	490	490	60%	Open
73	Library 26	Open	Open	500	500	60%	Open
74	Library 27	Open	Open	510	510	60%	Open
75	Library 28	Open	Open	520	520	60%	Open
76	Library 29	Open	Open	530	530	60%	Open
77	Library 30	Open	Open	540	540	60%	Open
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79	Library 32	Open	Open	560	560	60%	Open
80	Library 33	Open	Open	570	570	60%	Open
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82	Library 35	Open	Open	590	590	60%	Open
83	Library 36	Open	Open	600	600	60%	Open
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92	Library 45	Open	Open	690	690	60%	Open
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233	Library 186	Open	Open	2100	2100	60%	Open
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239	Library 192	Open	Open	2160	2160	60%	Open
240	Library 193	Open	Open	2170	2170	60%	Open
241	Library 194	Open	Open				

Free Migration will be addressed at the time of Permitting

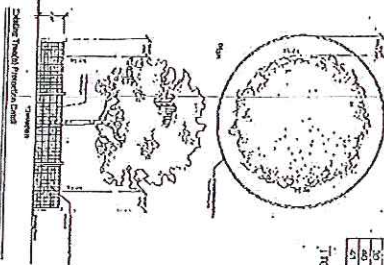
[illegible]

Tree Mitigation	100%	50%	25%	10%	5%	1%	0%
100%							
50%							
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5%							
1%							
0%							

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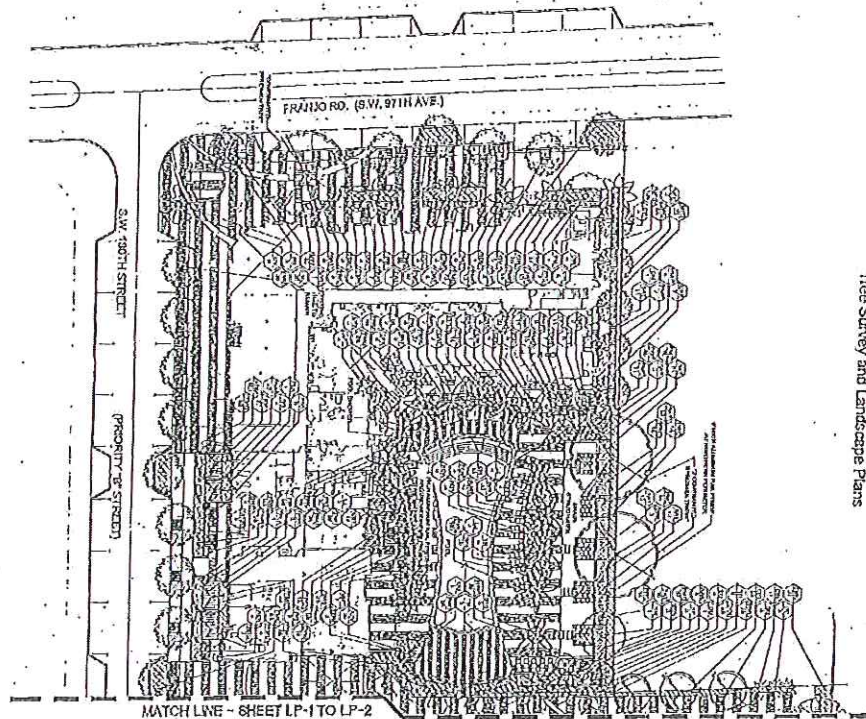


EXHIBIT C
Tree Survey and Landscape Plans

APPROVED
DATE: 1/10/16
BY: [Signature]
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DATE: 1/10/16
BY: [Signature]

LP-2	RECEIVED DATE: 1/10/16 BY: [Signature]	RECEIVED DATE: 1/10/16 BY: [Signature]	RECEIVED DATE: 1/10/16 BY: [Signature]
	RECEIVED DATE: 1/10/16 BY: [Signature]	RECEIVED DATE: 1/10/16 BY: [Signature]	RECEIVED DATE: 1/10/16 BY: [Signature]

CFN: 20160731849 BOOK 30354 PAGE 1217

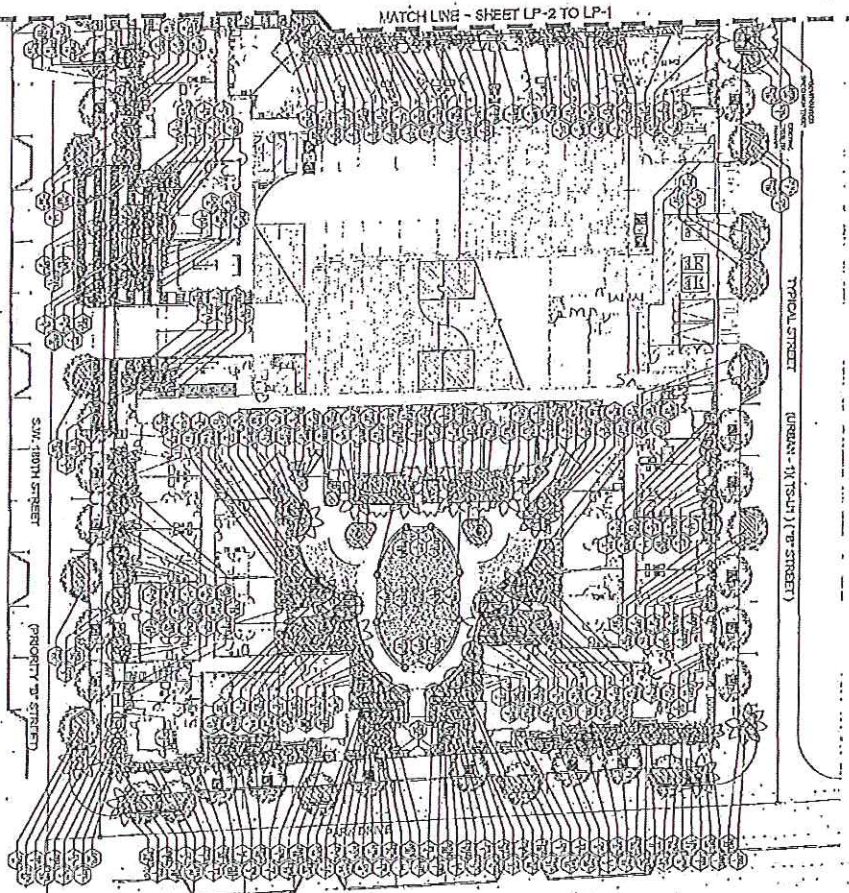
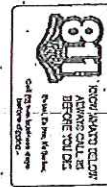


EXHIBIT C
Tree Survey and Landscape Plans

RECEIVED
DATE: 11/17/16
BY: [Signature]
PROJECT: ATLANTICO AT PALMETTO BAY
SHEET: LP-3 OF 3
SITE PLAN SUBMITTAL

Landscape Plan
Atlantico at Palmetto Bay
Palmetto Bay
Miami, Florida



EXHIBIT C
Tree Survey and Landscape Plans

VILLAGE OF PALMETTO BAY PLANTING CALCULATIONS

[illegible]

NOTES:

[illegible]

Landscape Design
tico at Palmetto Bay
Palmetto Bay
1100-2 5544



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310000, 320000, 330000 340000, 350000, 360000 370000, 380000, 390000 400000, 410000, 420000 430000, 440000, 450000 460000, 470000, 480000 490000, 500000, 510000 520000, 530000, 540000 550000, 560000, 570000 580000, 590000, 600000 610000, 620000, 630000 640000, 650000, 660000 670000, 680000, 690000 700000, 710000, 720000 730000, 740000, 750000 760000, 770000, 780000 790000, 800000, 810000 820000, 830000, 840000 850000, 860000, 870000 880000, 890000, 900000 910000, 920000, 930000 940000, 950000, 960000 970000, 980000, 990000 1000000, 1010000, 1020000 1030000, 1040000, 1050000 1060000, 1070000, 1080000 1090000, 1100000, 1110000 1120000, 1130000, 1140000 1150000, 1160000, 1170000 1180000, 1190000, 1200000 1210000, 1220000, 1230000 1240000, 1250000, 1260000 1270000, 1280000, 1290000 1300000, 1310000, 1320000 1330000, 1340000, 1350000 1360000, 1370000, 1380000 1390000, 1400000, 1410000 1420000, 1430000, 1440000 1450000, 1460000, 1470000 1480000, 1490000, 1500000 1510000, 1520000, 1530000 1540000, 1550000, 1560000 1570000, 1580000, 1590000 1600000, 1610000, 1620000 1630000, 1640000, 1650000 1660000, 1670000, 1680000 1690000, 1700000, 1710000 1720000, 1730000, 1740000 1750000, 1760000, 1770000 1780000, 1790000, 1800000 1810000, 1820000, 1830000 1840000, 1850000, 1860000 1870000, 1880000, 1890000 1900000, 1910000, 1920000 1930000, 1940000, 1950000 1960000, 1970000, 1980000 1990000, 2000000, 2010000 2020000, 2030000, 2040000 2050000, 2060000, 2070000 2080000, 2090000, 2100000 2110000, 2120000, 2130000 2140000, 2150000, 2160000 2170000, 2180000, 2190000 2200000, 2210000, 2220000 2230000, 2240000, 2250000 2260000, 2270000, 2280000 2290000, 2300000, 2310000 2320000, 2330000, 2340000 2350000, 2360000, 2370000 2380000, 2390000, 2400000 2410000, 2420000, 2430000 2440000, 2450000, 2460000 2470000, 2480000, 2490000 2500000, 2510000, 2520000 2530000, 2540000, 2550000 2560000, 2570000, 2580000 2590000, 2600000, 2610000 2620000, 2630000, 2640000 2650000, 2660000, 2670000 2680000, 2690000, 2700000 2710000, 2720000, 2730000 2740000, 2750000, 2760000 2770000, 2780000, 2790000 2800000, 2810000, 2820000 2830000, 2840000, 2850000 2860000, 2870000, 2880000 2890000, 2900000, 2910000 2920000, 2930000, 2940000 2950000, 2960000, 2970000 2980000, 2990000, 3000000 3010000, 3020000, 3030000 3040000, 3050000, 3060000 3070000, 3080000, 3090000 3100000, 3110000, 3120000 3130000, 3140000, 3150000 3160000, 3170000, 3180000 3190000, 3200000, 3210000 3220000, 3230000, 3240000 3250000, 3260000, 3270000 3280000, 3290000, 3300000 3310000, 3320000, 3330000 3340000, 3350000, 3360000 3370000, 3380000, 3390000 3400000, 3410000, 3420000 3430000, 3440000, 3450000 3460000, 3470000, 3480000 3490000, 3500000, 3510000 3520000, 3530000, 3540000 3550000, 3560000, 3570000 3580000, 3590000, 3600000 3610000, 3620000, 3630000 3640000, 3650000, 3660000 3670000, 3680000, 3690000 3700000, 3710000, 3720000 3730000, 3740000, 3750000 3760000, 3770000, 3780000 3790000, 3800000, 3810000 3820000, 3830000, 3840000 3850000, 3860000, 3870000 3880000, 3890000, 3900000 3910000, 3920000, 3930000 3940000, 3950000, 3960000 3970000, 3980000, 3990000 4000000, 4010000, 4020000 4030000, 4040000, 4050000 4060000, 4070000, 4080000 4090000, 4100000, 4110000 4120000, 4130000, 4140000 4150000, 4160000, 4170000 4180000, 4190000, 4200000 4210000, 4220000, 4230000 4240000, 4250000, 4260000 4270000, 4280000, 4290000 4300000, 4310000, 4320000 4330000, 4340000, 4350000 4360000, 4370000, 4380000 4390000, 4400000, 4410000 4420000, 4430000, 4440000 4450000, 44
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[illegible][illegible]



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 BEFORE YOU DIG

Call 811, free, before digging
 to avoid accidents

811 PLAN PROGRAM

Name: <u>David M. ...</u> Last Name: <u>David M.</u> First Name: <u>David M.</u> Middle Name: <u>David M.</u> Suffix: <u>David M.</u>	Address: <u>David M.</u> City: <u>David M.</u> State: <u>David M.</u> Zip: <u>David M.</u>	Phone: <u>David M.</u> Fax: <u>David M.</u> E-mail: <u>David M.</u>	Date: <u>David M.</u> Time: <u>David M.</u> Signature: <u>David M.</u> Initials: <u>David M.</u>
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[illegible]

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RECEIVED
JAN 17 1968
U.S. DEPT. OF JUSTICE
FEDERAL BUREAU OF INVESTIGATION
WASHINGTON, D.C.

[illegible]