

Section 4.01 Purpose and Application

This section identifies the range of building types permitted within the Village of Palmetto Bay Downtown Urban Village (DUV). The individual building types are presented in a range of most urban to least urban types. Each type is allowed as identified on the summary Table 30, and its requirements are described on the subsequent pages.

A. Scope of Section 4.

1. This section of the code contains specific development standards that apply to new development and redevelopment in the Downtown zoning district, including setbacks, build-to zones, parking and access standards, required streetscape improvements, etc.
2. Other sections of the code set forth additional standards:
 - (a) Height and density limits are determined by sectors:
 - i. Figure 2 contains the Sector Map.
 - ii. Section 2.03 defines height and density limitations for each sector.
 - iii. Section 1.05.C explains density bonuses that use reserve residential units and transfer of development rights.
 - iv. Section 1.09 explains height bonuses.
 - (b) Development incentives related to parking and public open space are addressed in Section 1.07.
 - (c) Permitted uses are addressed in Section 2.07.
 - (d) Nonconforming uses and structures are addressed in Section 1.04.

B. How to Apply Section 4.

1. Before determining which standards in Section 4 apply to a property, the property's sector should be ascertained. The sector designation establishes maximum heights, densities, and permitted uses.
2. The next step is to determine which "street type" has been assigned to streets that the property abuts; see Figure 5. Street types are a critical factor in determining which set of development standards apply to buildings that face that street.
3. Section 4.02 provides a matrix (Table 6) that identifies which "frontage types" are permitted facing each street type. Property owners may select one of the permitted frontage types for each street their property faces.
4. Section 4.03 provides specific standards for each frontage type, including:
 - (a) Built-to zones and setbacks
 - (b) Frontage percentages
 - (c) Required architectural features
 - (d) Façade transparency
5. Section 4.04 provides general standards for all frontage types, including required streetscape improvements.
6. Section 4.05 provides standards for many architectural features irrespective of frontage type.

Section 4.02 5 Permitted Frontage Types

A. Introduction to Frontage Types

This code establishes various "frontage types" which describe different approaches for how a building's entrance door and façade are configured along the street. By using appropriate frontage types, each new and redeveloped building will contribute to the desired character of each sector of the Downtown and ensure that each building Subject to the requirements of the applicable sector, building types shall be designed with one of the permitted frontage types, to ensure that development within the Village of Palmetto Bay meets and addresses the street in accordance with the Village's ultimate vision for the built environment.

oA. Gallery Frontage Arcade

A gallery is a roofed promenade extending along the wall of a building and supported by arches or columns on the outer side. The arcade is a facade application with a street level colonnade at the build-to line, open to the street and sidewalk, and with building program on the floors above. The gallery frontage type is ideal for a commercial/retail use in an urban setting, and is complementary to the storefront and forecourt frontage types. The arcade frontage type shall only be permitted in certain building types, Sec.4.04 A-B 7(b), and only on the primary frontage along Franjo Road.

oB. Storefront Frontage

A storefront is a flexible space at the sidewalk level with a mostly transparent façade and a gallery, canopy, or awning that shades the façade and sidewalk. The storefront frontage type creates the best pedestrian and retail experience. The storefront is a facade placed flush to build-to line, with entrance to the unit at sidewalk level. Ideal for commercial/retail frontage, but also suitable for some higher-intensity residential buildings with common entrances. This frontage type can be accompanied by a cantilevered roof(s)/awning(s). Recessed entryways are also accepted in the storefront frontage type. When complimentary to another frontage type, the storefront frontage type may be set back off of the build-to line.

oC. Forecourt Frontage

A forecourt is a small private open space that is open to the sidewalk and bounded on two or three sides by the exterior walls of buildings. Forecourts are the dominant features on a façade in the forecourt frontage type. The forecourt is a semi-public, exterior open space compatible with the arcade and storefront frontage type, that is partially surrounded by building on at least two (2) sides and also opened to the street sidewalk, forming a court. The forecourt is appropriate in the form of outdoor landscaped open space/gathering area and suitable for commercial/retail, office or residential uses.

D. Stoop Frontage

Stoops are staircases and elevated entrance platforms that lead to main entrances. The stoop is an elevated entry pad that can encroach into the setback and corresponds directly to the entrance of a building or individual unit. An elevated ground story ensures additional privacy for windows and doors. This frontage type is ideal for residential uses at the ground floor, and also compatible with some lower intensity commercial/retail uses. frontages. When building facade is set back, a decorative fence, shall be required at the build-to-line, to preserve the street edge.

E. Porch Frontage

A porch is an elevated roofed entrance to a building that is large enough to function as private outdoor living space. The porch frontage type is often associated with single-family houses but can be used for other buildings. the porch frontage is an elevated semi-private, exterior space, that is built at the setback line and corresponds to the front of a single-family house building. The landscape yard space of the setback transitions to an elevated landing before entrance into the building. A fence or shall be built at the build-to-line to enclose the yard space and preserve the street edge.

Canopy Frontage

A canopy frontage contains a permanently attached rigid canopy that projects outward from the façade to shield the main entrance, windows, and sidewalk from the elements.

Lobby Frontage

Lobby frontages provide a prominent entrance to an internal lobby that is visible from the street and sidewalk.

Service Frontage

Larger buildings without an alley or internal service area may require a service frontage. Examples are loading docks, service bays, walls without doors or windows, unlined parking garages, etc. The permitted locations of service frontages are severely limited to reduce their detrimental impacts on abutting streets.

B. Permitted Frontage Types

Table 6 lists each frontage type in the left column and each street type in the top row. Buildings that face any given street type must be designed to meet one of the permitted frontage types, which are identified by a solid circle in the column below. Property owners may select any of the permitted frontage types for a building.

1. A wide building may use two permitted frontage types on different portions of the building's frontage.
2. For properties with multiple street frontages, a building may use different frontage types facing different streets. See Sec. 4.04.A for details on such properties.

C. Application of Frontage Types

1. Section 4.03 provides specific standards for each frontage type.
2. Section 4.04 provides general standards all frontage types, including required streetscape improvements.
3. Section 4.05 provides standards for many architectural features irrespective of frontage type.
4. Other Village codes also apply within the Downtown zoning district.

Table 6 Permitted Frontage Types for Each Street Type

	Franjo Rd (FR)	US-1 (US1)	Park Dr (PD)	Primary (P)	Neighborhood (N)	Secondary (S)
Gallery Frontage	○	●	●	●	○	●
Storefront Frontage	●	●	●	●	○	●
Forecourt Frontage	○	●	●	●	●	●
Stoop Frontage	○	●	●	●	●	●
Porch Frontage	○	○	●	●	●	●
Canopy Frontage	○	●	●	●	●	●
Lobby Frontage	○	●	●	●	○	●
Service Frontage	○	○	○	○	○	●

Key
 Permitted ●
 Not Permitted ○

Section 4.03 6 Specific Standards Parameters by Frontage Type

A. Gallery Frontage, Arcade

A gallery is a roofed promenade extending along the wall of a building and supported by arches or columns on the outer side. A gallery shields space below like a canopy but provides usable space above, either private open space or fully enclosed space. Depending on its design, a gallery can be an arcade, a colonnade, or a primarily decorative feature. The arcade is a facade application with a street level colonnade at the build-to-line, open to the street and sidewalk, and with building program on the floors above. This gallery frontage type is ideal for a commercial/retail use in an urban setting, and is complementary to the storefront and forecourt frontage types.

1. The gallery arcade frontage type may be constructed facing any of the street types identified in Table 6 (see section 4.02). shall be permitted with certain building types in a given sector, and only along the primary frontage along Franjo Road, section 4.04 A-E 7.(b).
2. The basic rules that apply to all galleries are provided in Sec. 4.05.C. The gallery frontage type must also meet the standards in Table 7 below, including the requirement that the cumulative width of the gallery must be at least 70% of the building frontage.

2. Soffits, columns, arches/openings and other details shall be treated consistent with the architectural character of the whole building.
3. The opening shall be finished floor to finished floor and have a minimum height of 10 feet.
 - (a) The minimum height shall be from finished floor to the top of the opening.
 - (b) The minimum height shall be from the top of the column face, or column face to the top of the opening.
 - (c) Openings shall be clear to the centerline between the columns and a minimum ten feet tall.
4. Elements must be consistent with the gallery arcade frontage type. See section 4.05-B, and shall only correspond to the standards in Table 4.
5. Awnings shall be clear from the edge of the building.
 - (a) Awnings shall be clear from the edge of the building.

Figure 10 52- Gallery Section Arcade: 3D-View

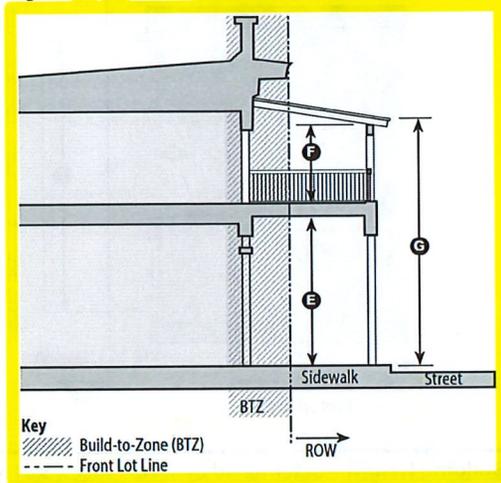


Figure 11 53 Gallery Arcade Plan and Section

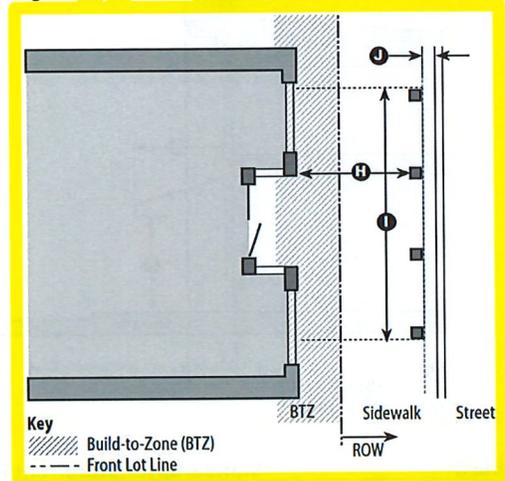


Table 7 Standards for Gallery Frontage

Setbacks and Build-to Zones (see Section 4.04.A.2)		
Build-to zone	0' min., 5' max.	A
Side (interior)	0' min.	C
Rear	0' min.	D
Building Frontage Percentage Standards (see Section 4.04.G)		
Building frontage	80% min., 100% max.	
Gallery Dimensions (see Section 4.05.C)		
Ceiling height	12' min. clear for ground story 9' min. clear for upper story	E
Overall height	2 stories max.	G
Depth	8' min. clear path for pedestrians	H
Width	70% of building frontage min.	I
Setback from curb	2' min.	J
Façade Transparency (see Section 4.05.A)		
Ground story	30% min.	
Upper stories	20% min.	
Main Entrance (see Section 4.05.B)		
Main entrance	required on this façade	
Optional Architectural Features (see Section 4.05)		
Optional features	allowed but not required	

Building Height – determined by sector (Secs. 3.01 & 4.04.H)

Density – determined by sector (see Section 3.01)

Permitted Uses – determined by sector (see Section 2.07)

Floors and Ceilings (see Section 4.04.L)

Floor elevation 2' min. residential
Ground story ceiling 9' min. residential; 12' min. commercial
Upper story ceilings 9' min.

Lot Width and Depth (see Section 4.04.A.1)

Lot width no minimum
Lot depth no minimum

Access, Service, New Streets (see Sections 4.04.B, D, ML)

Parking Standards (see Section 4.04.C)

Landscape & Lighting (see Sections 4.04.F, K)

Accessory Structures & Dwellings (see Sections 4.04.I, J)

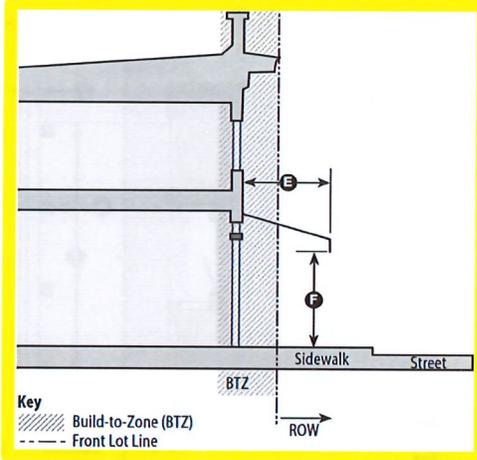
Required Streetscape Improvements (see Section 4.04.N)

B. Storefront Frontage.

A storefront is a flexible space at the sidewalk level that is directly accessible by pedestrians and suitable for retail sales. A storefront has a mostly transparent façade and a gallery, canopy, or awning that shades the storefront's windows and doors and the sidewalk. Main entrances to each storefront open directly onto the sidewalk or onto a forecourt. Storefronts that are part of the storefront frontage type create the best pedestrian and retail experience; these storefronts must meet the additional standards stated below. The storefront is a facade placed flush to build-to-line, with entrance to the unit at sidewalk level, ideal for commercial/retail frontage, but also suitable for some higher-intensity residential buildings with common entrances. This frontage type can be accompanied by a cantilevered-roof(s)/awning(s). Recessed entryways are also accepted in the storefront frontage type. When complimentary to another frontage type, the storefront frontage type may be set back off of the build-to-line.

1. The storefront frontage type may be constructed facing any of the street types identified in Table 6 (see section 4.02). shall be permitted with certain building types in a given sector. See section 4.04 A. E.7. (b).
2. The basic rules that following shall apply to all storefronts are provided in Sec. 4.05.D. The storefront frontage type must meet the rules in Table 8 plus the following additional rules: as independent frontage types or complimentary to another frontage type, such as with the arcade or forecourt types:

Figure 12 54 Storefront Section 3D-View



- (a) The cumulative width of storefronts must be at least 70% of the building frontage.
- (b) Doors or entrances for public access shall be provided at intervals no greater than 50 feet to provide pedestrians with frequent opportunities to enter buildings and to minimize inactive expanses of facades.
- (c) (iii) Display cases or merchandise/goods storage shall be 36 inches maximum in height from the finished sidewalk and shall maintain a minimum of 70 percent clear view into the unit.
- (d) (iii) Security measures, such as gates, grating or roll down shutters shall be prohibited from exterior application and shall only occur on the interior side of the glass and shall be minimum 50 percent clear view into the storefront.

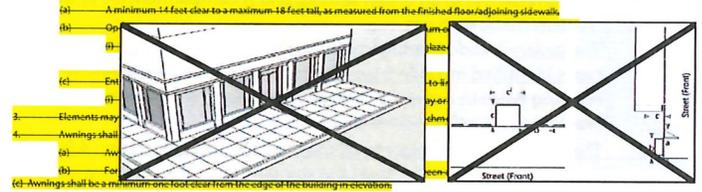


Figure 13 55 Storefront Plan and Section

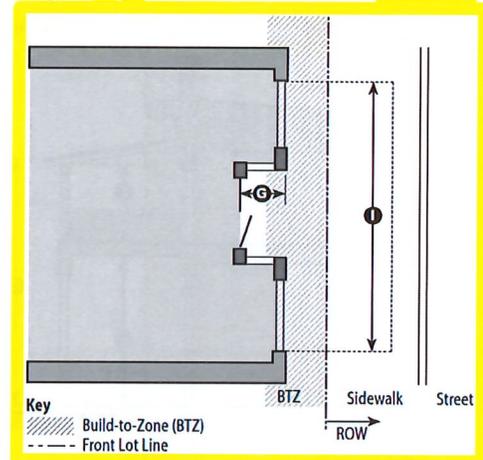


Table 8 Standards for Storefront Frontage

Setbacks and Build-to Zones (see Section 4.04.A.2)		
Build-to zone	0' min., 5' max. (along the west side of Franjo, see Secs. 4.04.O & 5.02)	A
Side (interior)	0' min.	C
Rear	0' min.	D
Building Frontage Percentage Standards (see Section 4.04.G)		
Building frontage	80% min., 100% max.	
Storefront Dimensions (see Section 4.05.D)		
Cover depth	4' min., see Sec. 4.05.L for max.	E
Cover height	10' min. clear	F
Door recess	5' max.	G
Cumulative storefront width	70% of building frontage min.	I
Door intervals	no more than 50' apart	
Other dimensions	(see Section 4.05.D)	
Canopy, Awning, or Arcade (see Section 4.05)		
Cumulative width	70% of building frontage min.	I
Façade Transparency (see Section 4.05.A)		
Ground story	70% min.	
Upper stories	40% min.	
Optional Architectural Features (see Section 4.05)		
Optional features	allowed but not required	

Building Height – determined by sector (Secs. 3.01 & 4.04.H)

Density – determined by sector (see Section 3.01)

Permitted Uses – determined by sector (see Section 2.07)

Floors and Ceilings (see Section 4.04.L)

Floor elevation 6" max.

Ground story ceiling 14' min.

Upper story ceilings 9' min.

Lot Width and Depth (see Section 4.04.A.1)

Lot width no minimum

Lot depth no minimum

Access, Service, New Streets (see Sections 4.04.B, D, M)

Parking Standards (see Section 4.04.C)

Landscape & Lighting (see Sections 4.04.F, K)

Accessory Structures & Dwellings (see Sections 4.04.I, J)

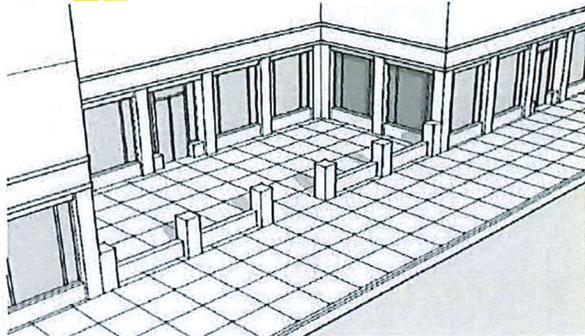
Required Streetscape Improvements (see Sections 4.04.N, O)

C. Forecourt Frontage.

A forecourt is a small private open space that is open to the sidewalk and bounded on two or three sides by the exterior walls of buildings. Although forecourts are allowed on most frontage types, one or more forecourts are dominant features on the façade in the forecourt frontage type. The forecourt is a semi-public, exterior open space, that is partially surrounded by building on at least two sides and also opened to the street sidewalk, forming a court. The forecourt is appropriate in the form of outdoor landscaped open space/gathering area and suitable for commercial/retail, office or residential uses.

1. The forecourt frontage type may be constructed facing any of the street types identified in Table 6 (see section 4.02), shall be permitted with certain building types in a given sector. See section 4.04 A. E.7.(b).
2. To qualify for the forecourt frontage type, the forecourt must face the street and must meet the requirements of 4.03.C and 4.04.E.

Figure 14 56 Forecourt: 3D View



2. The following shall apply to all buildings with forecourt in conjunction with another frontage type, such as with the arcade or storefront types:
 - (a) A minimum ten feet to a maximum 40 feet deep along the primary frontage;
 - (b) A minimum 20 feet wide and maximum 30 percent of the lot width along the frontage;
 - (c) A decorative fence, maximum three feet in height, must be placed along the build-to line and ceiling line along the forecourt.
3. Openings within the store shall be permitted. See section 4.05 B.
4. Elements may project off the building facade. See section 3.02 A.
5. Awnings shall be a maximum of 10 feet deep.
 - (a) Awnings shall not be placed over the sidewalk.
 - (b) For spans wider than ten feet, a break of eight inches shall be provided between awnings.

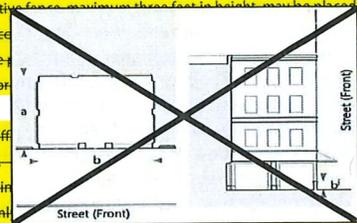


Figure 15 57 Forecourt Plan and Section

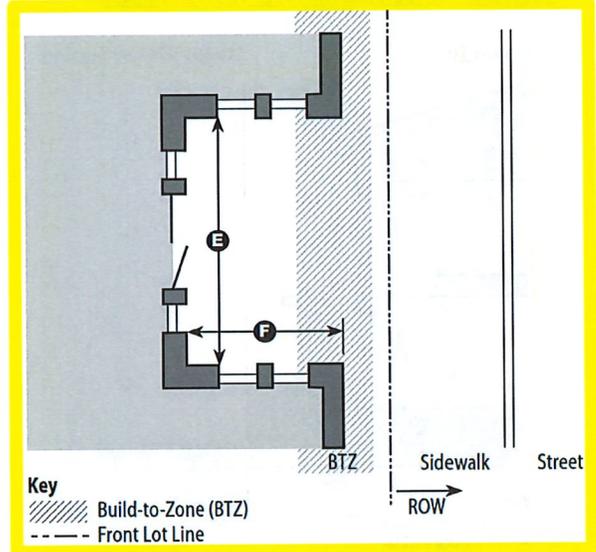


Table 9 Standards for Forecourt Frontage

Standards for Forecourt Frontage		
Setbacks and Build-to Zones (see Section 4.04.A.2)		
Build-to zone	0' min., 10' max.	A
Side (interior)	0' min.	C
Rear	0' min.	D
Building Frontage Percentage Standards (see Section 4.04.G)		
Building frontage	80 % min., 100% max.	
Forecourt Dimensions (see Section 4.05.E)		
Width of individual forecourts	15' min.	E
Depth	10' min., 40' max.	E
Width of combined forecourts	10% min, 40% max. of building frontage	E
Façade Transparency (see Section 4.05.A)		
Ground story	30% min.	
Upper stories	20% min.	
Main Entrance (see Section 4.05.B)		
Main entrance	required on this facade	
Optional Architectural Features (see Section 4.05)		
Optional features	allowed but not required	

Building Height – determined by sector (Secs. 3.01 & 4.04.H)

Density – determined by sector (see Section 3.01)

Permitted Uses – determined by sector (see Section 2.07)

Floors and Ceilings (see Section 4.04.L)

- Floor elevation 2' min. residential
- Ground story ceiling 9' min. residential; 12' min. commercial
- Upper story ceilings 9' min.

Lot Width and Depth (see Section 4.04.A.1)

- Lot width no minimum
- Lot depth no minimum

Access, Service, New Streets (see Sections 4.04.B, D, M)

Parking Standards (see Section 4.04.C)

Landscape & Lighting (see Sections 4.04.F, K)

Accessory Structures & Dwellings (see Sections 4.04.I, J)

Required Streetscape Improvements (see Section 4.04.N)

D. Stoop Frontage.

Stoops are staircases and elevated entrance platforms that lead to main entrances. The stoop is an elevated entry pad that can encroach into the setback and corresponds directly to the entrance of a building or individual unit. An elevated ground story ensures additional privacy for windows and doors. Stoops are generally taller than porches to match the higher ground-story floors that are needed to maintain privacy in urban areas. This frontage type is ideal for residential uses at the ground floor, and also compatible with some lower intensity commercial/retail uses, frontages. When building facade is set back, a decorative fence, shall be required at the build-to line, to preserve the street edge.

1. The stoop frontage type may be constructed facing any of the street types identified in Table 6 (see section 4.02), shall be permitted with certain building types in a given sector. See section 4.04 A, E 7.(b).
2. To qualify for the stoop frontage type, stoops must face the street and meet all requirements of 4.03.D and 4.04.F.

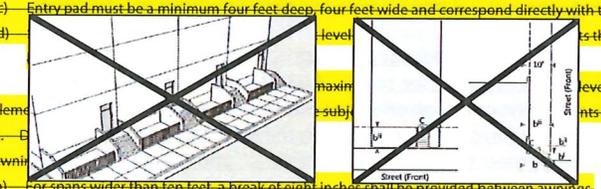
2. The following shall apply to all buildings with a stoop frontage type:
3. Stoops may encroach a maximum of eight feet into the build-to line when used on street frontages along Franjo Road:
 - (a) For all other buildings with a stoop frontage, set back shall be ten feet from the build-to line, on the primary frontage.
 - (b) Stoop may encroach a maximum of eight feet into the setback along all streets excluding Franjo Road:
 - (i) A decorative fence, maximum three feet in height, may be placed along the build-to line and count towards minimum frontage percentage standards for a building along the primary street.
 - (ii) Area between the interior face of the fence and facade of building shall be landscaped and count towards private open space requirements.
 - (c) Entry pad must be a minimum four feet deep, four feet wide and correspond directly with the entry to the building.
 - (d)
 
4. Elements:
 - A: Elevation
 - B: Awning
5. Awnings shall be a minimum one foot clear from the edge of the building in elevation.
 - (a) For spans wider than ten feet, a break of eight inches shall be provided between awnings.
 - (b) Awnings shall be a minimum one foot clear from the edge of the building in elevation.

Figure 16 58 Stoop: 3D-View Section

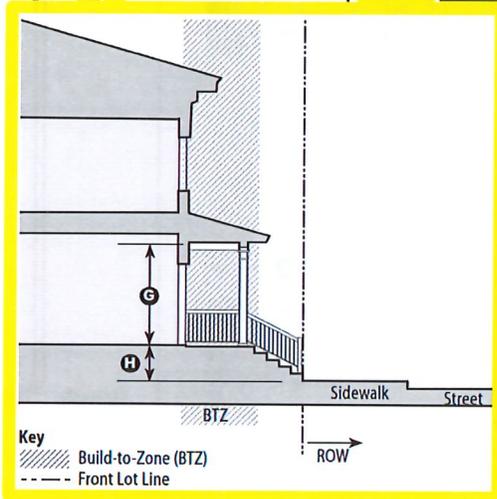


Figure 17 59 Stoop Plan and Section

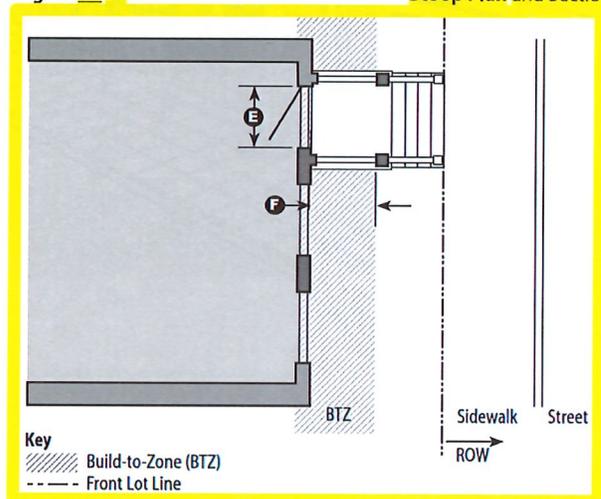


Table 10 Standards for Stoop Frontage

Setbacks and Build-to Zones (see Section 4.04.A.2)		
Build-to zone	5' min., 20' max.	A
Side (interior)	0' min.	C
Rear	20' min.	D
Building Frontage Percentage Standards (see Section 4.04.G)		
Building frontage	60% min. in DV and DG sectors on streets where this frontage type is permitted	
	no min. in UV sector	
	not permitted in NV sector	
Stoop Dimensions (see Section 4.05.F)		
Spacing of stoops	28' on center (average) in DV and DG sectors	
Width	5' min.; 8' max.	E
Depth	5' min.; 8' max.	F
Ceiling height	9' min. clear (if a ceiling is provided)	G
Elevation	3' min. above sidewalk	H
Other dimensions	(see Section 4.05.F)	
Façade Transparency (see Section 4.05.A)		
Ground story	20% min.	
Upper stories	20% min.	
Main Entrance (see Section 4.05.B)		
Main entrance	required on this facade	

Optional Architectural Features (see Section 4.05)

Optional features allowed but not required

Building Height – determined by sector (Secs. 3.01 & 4.04.H)

Density – determined by sector (see Section 3.01)

Permitted Uses – determined by sector (see Section 2.07)

Floors and Ceilings (see Section 4.04.L)

Floor elevation 3' min. above sidewalk

Lot Width and Depth (see Section 4.04.A.1)

Lot width no minimum

Lot depth no minimum

Access, Service, New Streets (see Sections 4.04.B, D, M)

Parking Standards (see Section 4.04.C)

Landscape & Lighting (see Sections 4.04.F, K)

Accessory Structures & Dwellings (see Sections 4.04.I, J)

Required Streetscape Improvements (see Section 4.04.N)

E. Porch Frontage.

A porch is an elevated roofed entrance to a building that is large enough to function as private outdoor living space. The porch frontage type is often associated with single-family houses but can be used for other buildings. The porch frontage is an elevated semi-private exterior space, that is built at the setback line and corresponds to the front of a single family house building. The landscape yard space of the setback transitions to an elevated landing before entrance into the building. A fence or shall be built at the build-to line to enclose the yard space and preserve the street edge.

1. The porch frontage type may be constructed facing any of the street types identified in Table 6 (see section 4.02). shall be permitted with certain building types in a given sector. See section 4.04 A. E 7.(b).
2. To qualify for the porch frontage type, one or more porches must face the street and meet all requirements of 4.03.E and 4.04.G.

2. Porch frontage type shall be permitted only in the Neighborhood Village (NV) sector.
 - (a) For all single family houses with a porch frontage types, setback shall be ten feet from the build-to line, on the primary frontage.
 - (i) A decorative fence, maximum three feet in height, may be placed along the build-to line and count towards minimum frontage percentage standards for a building along the primary street.
 - (ii) Area between the interior face of the wall and porch shall be landscaped and count towards private open space requirements.
 - (b) Porch shall not encroach into ten foot setback area to preserve yard space.
 - (c) Porch shall be a minimum six feet deep.
 - (d) A minimum 12 feet wide and correspond directly to the entry of the single family house.
 - (e) A...
 - (f) Pe...
3. Element...
4. Awnings
 - (a) Fo...
 - (b) Awnings shall be a minimum one foot clear from the edge of the building in elevation.

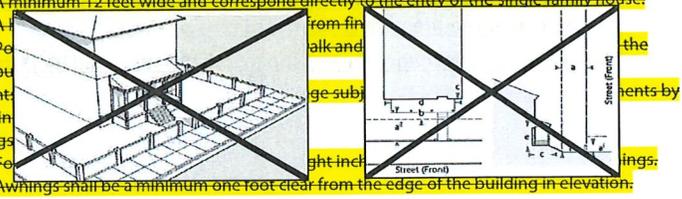


Figure 18 60 Porch Section: 3D View

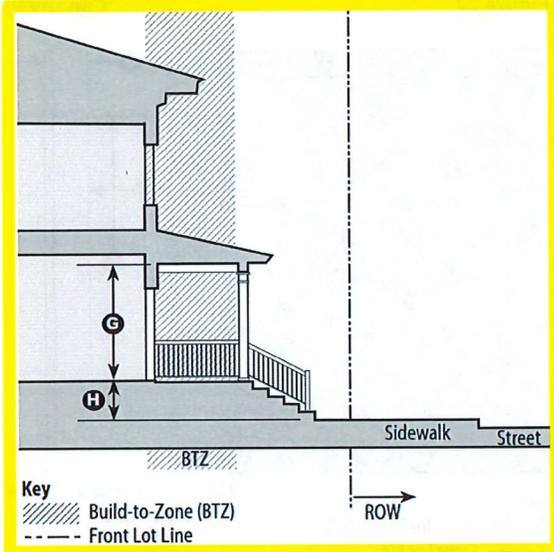


Figure 19 61 Porch Plan and Section

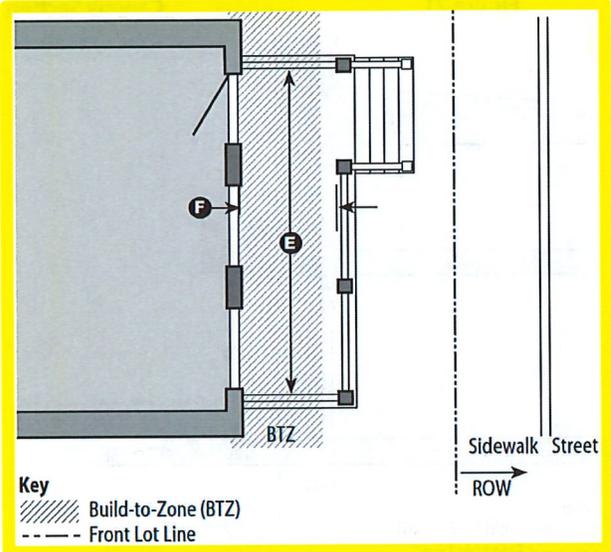


Table 11 Standards for Porch Frontage

Standards for Porch Frontage		
Setbacks and Build-to Zones (see Section 4.04.A.2)		
Build-to zone	15' min., 30' max.	A
Side (interior)	0' min. attached, 5' min. detached	C
Rear	20' min.	D
Building Frontage Percentage Standards (see Section 4.04.G)		
Building frontage	no min. in UV and NV sectors 60% min. in DV and DG sectors on streets where this frontage type is permitted	
Porch Dimensions (see Section 4.05.G)		
Width	10' min.	E
Other dimensions	(see Section 4.05.G)	
Façade Transparency (see Section 4.05.A)		
Ground story	20% min.	
Upper stories	20% min.	
Main Entrance (see Section 4.05.B)		
From Porch	required	
Optional Architectural Features (see Section 4.05)		
Optional features	allowed but not required	

Building Height – determined by sector (Secs. 3.01 & 4.04.H)

Density – determined by sector (see Section 3.01)

Permitted Uses – determined by sector (see Section 2.07)

Floors and Ceilings (see Section 4.04.L)

Floor elevation 2' min. residential

Lot Width and Depth (see Section 4.04.A.1)

Lot width 60' min.

Lot depth 100' min.

Access, Service, New Streets (see Sections 4.04.B, D, M)

Parking Standards (see Section 4.04.C)

Landscape & Lighting (see Sections 4.04.E, K)

Accessory Structures & Dwellings (see Sections 4.04.I, J)

Required Streetscape Improvements (see Section 4.04.N)

F. Canopy Frontage

A canopy frontage contains a permanently attached rigid canopy that projects outward from the façade to shield the main entrance, windows, and sidewalk from the elements.

1. The canopy frontage type may be constructed facing any of the street types identified in Table 6 (see Sec. 4.02).
2. Specific requirements for canopy frontages are provided in Sec. 4.04.H and in Table 12 below. A letter in the right column indicates that a particular requirement is illustrated on a diagram.
3. See Sec. 4.04 for additional standards that apply to all frontage types.

Figure 20 Illustration of Canopy Frontage



Figure 21 Canopy Section

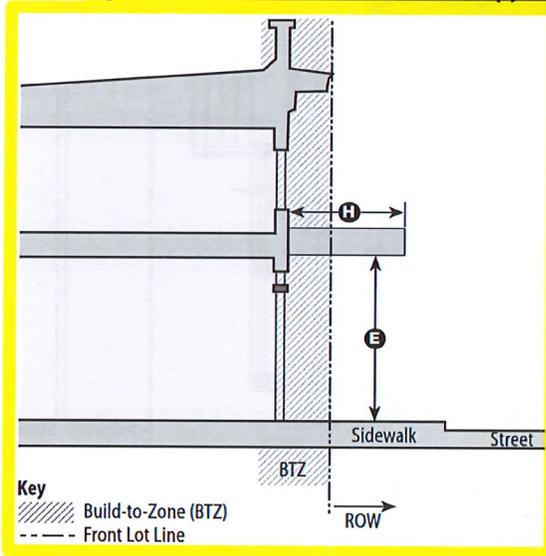


Figure 22 Canopy Plan

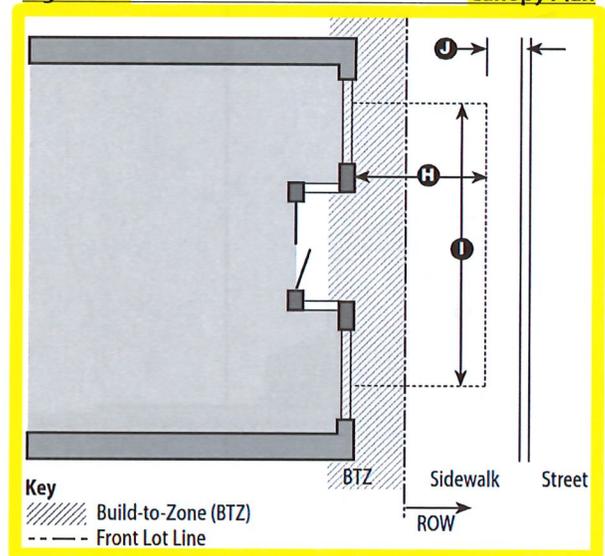


Table 12 Standards for Canopy Frontage

Setbacks and Build-to Zones (see Section 4.04.A.2)		
Build-to zone	0' min., 10' max.	A
Side (interior)	0' min.	C
Rear	0' min.	D
Building Frontage Percentage Standards (see Section 4.04.G)		
Building frontage	80% min., 100% max.	
Canopy Dimensions (see Section 4.05.H)		
Height	10' min. clear above sidewalk	E
Depth	8' min.	H
Cumulative width	60% min. of building frontage	I
Setback from curb	2' min.	J
Transparency (Glazing Percentage) (see Section 4.05.A)		
Ground story	30% min.	
Upper stories	20% min.	
Main Entrance (see Section 4.05.B)		
Main entrance	required on this facade	
Optional Architectural Features (see Section 4.05)		
Optional features	allowed but not required	

Building Height	determined by sector (Secs. 3.01 & 4.04.H)
Density	determined by sector (see Section 3.01)
Permitted Uses	determined by sector (see Section 2.07)
Floors and Ceilings (see Section 4.04.L)	
Floor elevation	2' min. residential
Ground story ceiling	12' min.
Upper story ceilings	9' min.
Lot Width and Depth (see Section 4.04.A.1)	
Lot width	no minimum
Lot depth	no minimum
Access, Service, New Streets (see Sections 4.04.B, D, M)	
Parking Standards (see Section 4.04.C)	
Landscape & Lighting (see Sections 4.04.F, K)	
Accessory Structures & Dwellings (see Sections 4.04.I, J)	
Required Streetscape Improvements (see Section 4.04.N)	

G. Lobby Frontage

Lobby frontages provide one or prominent entrances to internal lobbies that are visible from the street and sidewalk.

1. The lobby frontage type may be constructed facing any of the street types identified in Table 6 (see Sec. 4.02).
2. Specific requirements for lobby frontages are provided in Table 13 below. A letter in the right column indicates that a particular requirement is illustrated on a diagram.
3. Lobby entries and staircases that extend outward from a building's facade may not extend onto public rights-of-way.
4. The width of lobby entrances and staircases that are indented into a building's facade are counted as building frontage even if they are indented beyond the build-to zone.
5. See Sec. 4.04 for additional standards that apply to all frontage types.

Figure 22 Illustration of Lobby Frontage



Figure 23 Lobby Plan (Indented)

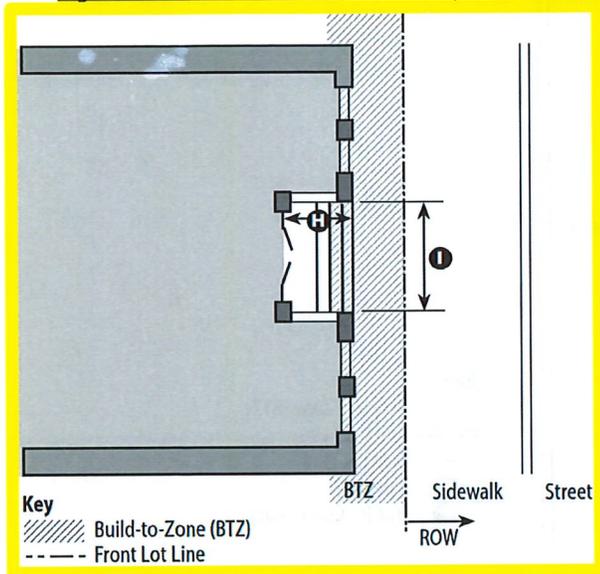


Figure 24 Lobby Plan (Extended)

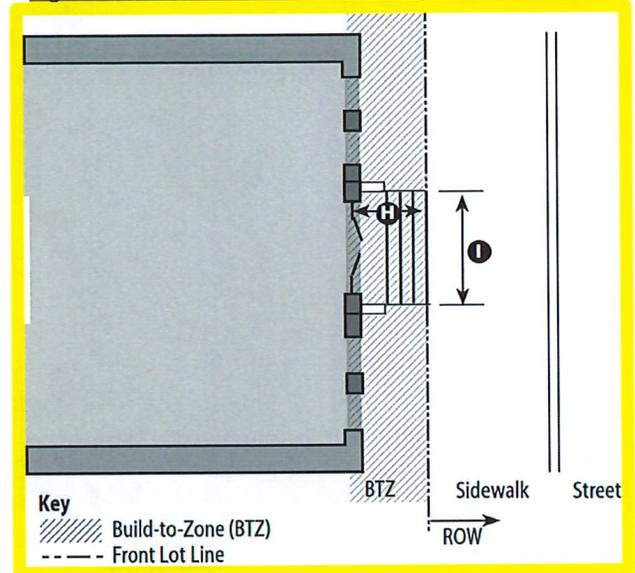


Table 13 Standards for Lobby Frontage

Setbacks and Build-to Zones (see Section 4.04.A.2)		
Build-to zone	0' min., 20' max.	A
Side (interior)	0' min.	C
Rear	0' min.	D
Building Frontage Percentage Standards (see Section 4.04.G)		
Building frontage	70% min., 100% max.	
Dimensions of Lobby Entrances		
Depth	10' min., 15' max.	H
Width	10' min., 30' max.	I
Façade Transparency (see Section 4.05.A)		
Ground story	30% min.	
Upper stories	20% min.	
Main Entrance (see Section 4.05.B)		
Main entrance	required on this façade	
Optional Architectural Features (see Section 4.05)		
Optional features	allowed but not required	
Building Height – determined by sector (Secs. 3.01 & 4.04.H)		

Density – determined by sector (see Section 3.01)	
Permitted Uses – determined by sector (see Section 2.07)	
Floors and Ceilings (see Section 4.04.L)	
Floor elevation	2' min. residential
Ground story ceiling	12' min.
Upper story ceilings	9' min.
Lot Width and Depth (see Section 4.04.A.1)	
Lot width	no minimum
Lot depth	no minimum
Access, Service, New Streets (see Sections 4.04.B, D, M)	
Parking Standards (see Section 4.04.C)	
Landscape & Lighting (see Sections 4.04.F, K)	
Accessory Structures & Dwellings (see Sections 4.04.I, J)	
Required Streetscape Improvements (see Section 4.04.N)	

H. Service Frontage

Larger buildings without an alley or internal service area may require a service frontage. Examples are loading docks, service bays, walls without doors or windows, unlined parking garages, etc. The permitted locations of service frontages are severely limited to reduce their detrimental impacts on abutting streets.

1. The service frontage may be constructed facing any of the street types identified in Table 6 (see Sec. 4.02).
2. Specific requirements for service frontages are provided in Table 14 below. A letter in the right column indicates that a particular requirement is illustrated on a diagram.
3. For properties with multiple street frontages, see Sec. 4.04.A.2.
4. See Sec. 4.04 for additional standards that apply to all frontage types.

Figure 24 Illustration of Service Frontage



Figure 25 Service Plan

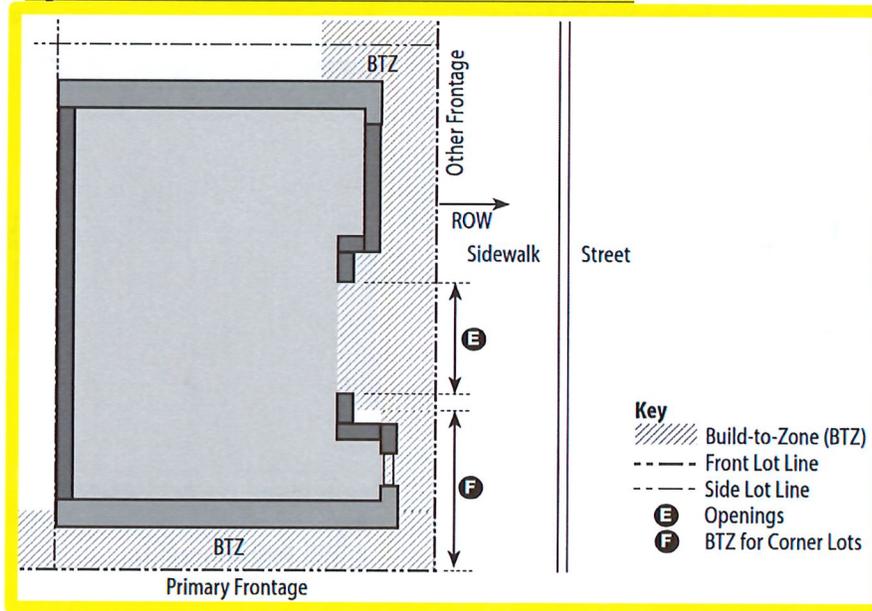


Table 14 Standards for Service Frontage

Standards for Service Frontage		
Setbacks and Build-to Zones (see Section 4.04.A.2)		
Build-to zone	0' min., 20' max.	A
BTZ for corner lots	(see Section 4.04.A.2)	F
Side (interior)	0' min.	C
Rear	0' min.	D
Building Frontage Percentage Standards (see Section 4.04.G)		
Building frontage	50% min., 100% max.	
Dimensions of Service Frontages		
Openings	24' max. for any openings in facade	E
Height	6' min. above sidewalk height	
Façade Transparency (see Section 4.05.A)		
Ground story	0% min.	
Upper stories	0% min.	
Main Entrance (see Section 4.05.B)		
Main entrance	not required on this facade	
Optional Architectural Features (see Section 4.05)		
Optional features	allowed but not required	
Building Height – determined by sector (Secs. 3.01 & 4.04.H)		

Density – determined by sector (see Section 3.01)

Permitted Uses – determined by sector (see Section 2.07)

Floors and Ceilings (see Section 4.04.L)

Floor elevation no minimum

Ground story ceiling no minimum

Upper story ceilings no minimum

Lot Width and Depth (see Section 4.04.A.1)

Lot width no minimum

Lot depth no minimum

Access, Service, New Streets (see Sections 4.04.B, D, M)

Parking Standards (see Section 4.04.C)

Landscape & Lighting (see Sections 4.04.F, K)

Accessory Structures & Dwellings (see Sections 4.04.I, J)

Required Streetscape Improvements (see Section 4.04.N)

Section 4.04.3 General Standards for All Frontage Types Development Parameters

All building types are subject to The following general development standards apply to all frontage types unless stated otherwise. parameters:

A. Building placement Lot width and depth standards.

1. **Lot width and depth.** All buildings shall be designed within a specific, individual lot or an assembly of lots.
 - (a) The minimum lot width and depth shall be as specified for each frontage type in Sec. 4.03. Those measurements are determined as follows, Figure 23:
 - (i) Front lot line (lot width): Primary street frontage, indicated as A in Figure 30 and Table 16.
 - (ii) Side (interior) lot line (lot depth), indicated as B.
 - (iii) Rear (lot width).
 - (b) On corner lots fronting two or more streets, the highest priority ranking street on the street type hierarchy plan, section 2.05, is designated by this code as the primary frontage and shall be used to comply with the minimum lot width requirement per building type.
 - (c) On corner lots fronting multiple streets of the same designation on the street type hierarchy plan, section 2.05, either street frontage may be used to comply with the minimum lot width/frontage required per building type.

2. Setbacks and build-to zones.

- (a) Minimum setbacks between buildings and side and rear lot lines are specified for each frontage type in Sec. 4.03.
- (b) A build-to zone is specified for each frontage type. The build-to zone is parallel to the street frontage and is measured from the front lot line unless a different starting point is specified. A portion of a building's facade that faces that street frontage must be placed within the specified build-to zone (see explanation in Sec. 4.04.G).
- (c) For properties on the west side of Franjo Road from Hibiscus Street to SW 174th Street, the build-to zone is measured from the anticipated 70-foot right-of-way for Franjo Road (see Secs. 4.04.O & 5.02).
- (d) For properties on designated Primary and Secondary streets where sidewalk easements must be dedicated, the build-to zone is measured from the inner edge of the sidewalk easement (see Secs. 4.04.N, 5.05, and 5.07).
- (e) Allowable encroachments are specified in Sec. 4.05.L.
- (f) Figure 31 and Table 17 indicate how setbacks and build-to zones are applied to differing lot configurations.
- (g) For properties with multiple street frontages:
 - i. The primary frontage is the edge of the property that fronts the highest-priority street type (as identified in the Street Type Plan, Figure 5).
 - ii. The build-to zone for the primary frontage extends 30 feet onto the adjoining lower priority street frontage. Beyond 30 feet, the build-to zone is established by the frontage type for the building that faces lower priority streets.
 - iii. If the building has three or more street frontages, the same principle applies, with the build-to zone for each higher priority street extending 30 feet onto the adjoining lower priority street frontage.

Figure 30.23 Measuring Lot Dimensions

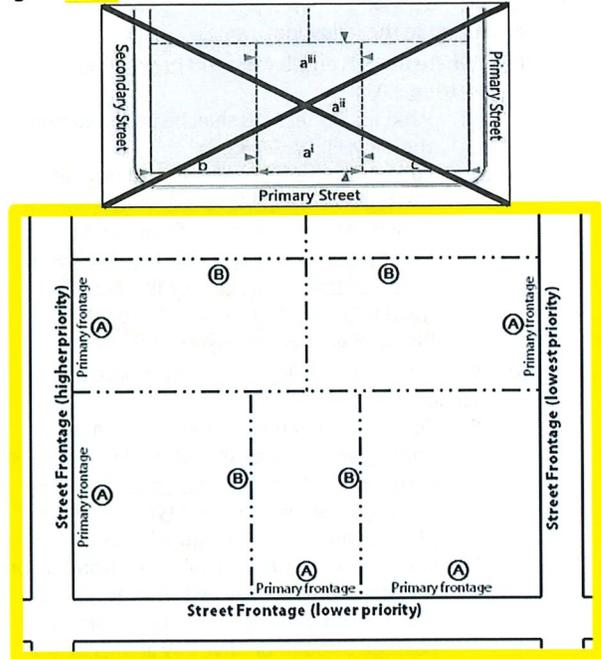


Table 16 Measuring Lot Dimensions

Front lot line (lot width)	A
Side (interior) lot line (lot depth)	B

Figure 31 Build-To Zones & Minimum Setbacks

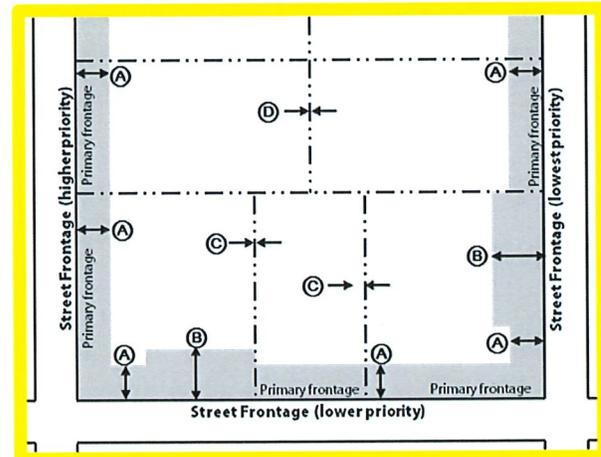


Table 17 Build-To Zones & Minimum Setbacks

Build-to zone, primary frontage	A
Build-to zone, other frontages	B
Side setback (interior), attached building	C
Side setback (interior), detached building	C
Rear setback	D

B. Access to parking and services standards:

1. On-site All parking and services shall be accessed according to the following:

- (a) Where there is an alley present or proposed in section 2.03:
 - (i) Parking and services shall be accessed from the alley, Figure 24 32; or
 - (ii) Parking and services All lots, with primary frontage on Franjo Road (SW 97th Avenue), shall be accessed from a driveway on the lower priority ranking secondary streets, via provided that cross-access will be legally guaranteed to abutting lots on the same block, shared access driveway/alley.

- (b) Where there is no alley present or proposed in section 2.03:
 - (i) For sites with multiple street frontages, parking and services shall should be accessed, via driveway, from the lower priority lowest ranking street on the street type hierarchy plan, section 2.05, and Figure 33 25.
 - (ii) For landlocked sites with singular frontage on one street only, a primary street, access to parking and services should be via driveway passage through or driveway alongside the first floor of the building Figures 25, 26; 33, 34; or via a cross-access easement with adjacent property owners.

2. Shared access, Figure 35 27, between adjacent property owners via a cross-access agreement filed with the Village of Palmetto Bay is encouraged to reduce curb cuts along street frontage and provide consolidated parking areas and inter-block circulation.

Figure 32 24

Access via Alley

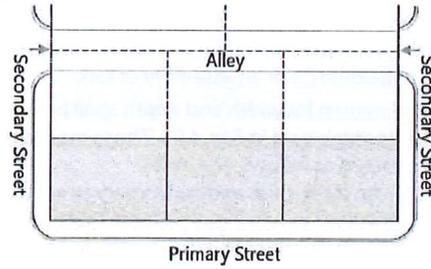


Figure 33 25

Access without Alley

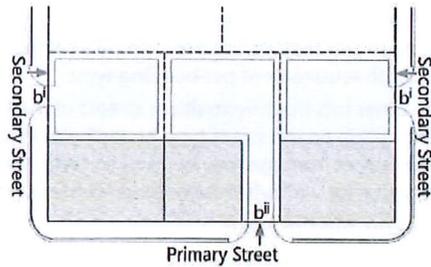


Figure 34 26

Access without Alley-Through Ground Floor of Building

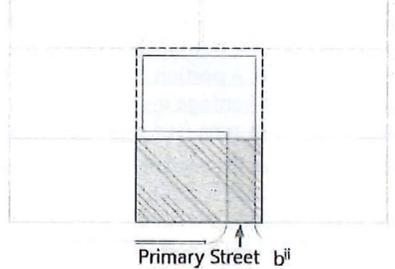
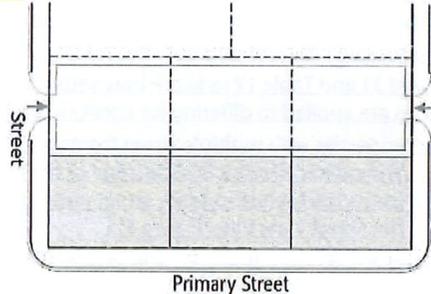


Figure 35 27

Shared Access via Cross-Access Agreement



C. Parking standards.

1. **Minimum parking requirements.** Adequate parking must be available to serve Parking standards shall be provided on-site or off-site through a centralized parking system in order to encourage development and redevelopment of property, consolidate parking and to implement the vision of the Village of Palmetto Bay Downtown Urban Village (DUV). See section 4.04 A.-E.3.(b), (c) for parking options specific to each building type. Table 30 specifies the minimum number of parking space required for various uses, reflecting current mobility and parking trends. These parking spaces may be provided in the following manners:
 - (a) **On-site parking** shall be considered any parking structure, surface parking lot, tuck under parking, private parking garage or surface parking pad within the property lines and meeting this code's standards. See details in Sec. 4.04.C.2, applicable build-to lines on private property.
 - (i) The roof of all parking structures shall be programmed with usable building surface such as: green roof, amenity deck (private open space) or for renewable energy generation.
 - (b) **Off-site private parking** shall be considered any parking structure, or surface parking lot that is not within the property lines but meets this code's standards for proximity and availability. See details in Sec. 4.04.C.3.
 - (c) **Off-site public parking** includes a publicly-available parking structure or surface parking lot, plus or on-street parking located on the a development parcel, or nearby adjacent public rights-of-way, provided the parking spaces meet this code's standards for proximity. See details in Sec. 4.04.C.4, other than the parcel being developed.
 - (i) The roof of all parking structures shall be programmed with usable building surface such as: green roof, amenity deck (private open space) or for renewable energy generation.
 - (d) **Village parking incentive program** can reduce certain minimum parking requirements based on proximity to transit, ground-floor mixed use, and/or payments-in-lieu. See details in Sec. 1.07.A.
2. **On-site parking.** The required number of parking spaces may be provided entirely on-site in accordance with specific standards for Downtown and with the additional parking standards found in section 30-70 of the Village of Palmetto Bay Code.
3. **Off-site private parking.** Some or all of the required number of parking spaces Parking requirements may be satisfied off-site within a parking structure or surface parking lot that shall be within 1,000 feet of the nearest point of the parcel being developed.
 - (a) This distance shall be measured by the normal and legal way a pedestrian would travel from the edge of the parcel to the parking entrance.
 - (b) See C.5 and C.6 below for acceptable placement of off-street private parking.

Table 30 34

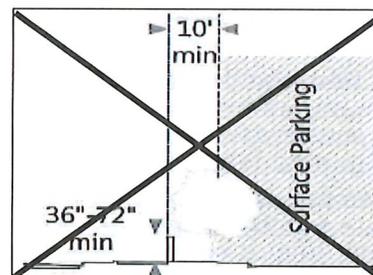
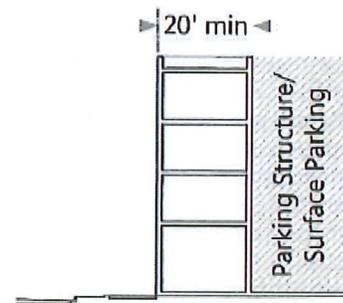
Parking by Use

Uses	Parking Requirement
Building Types	
(A) Single Family Residential	<ul style="list-style-type: none"> • Single family detached: 2 spaces/unit • Rowhouse: 2 spaces/unit
(B) Multi-Family Residential	<ul style="list-style-type: none"> • Units 750 sq. ft. and less: 1 space/residential unit • Units more than 750 sq. ft.: 1.5 spaces/residential unit
(C) Housing for the Elderly	<ul style="list-style-type: none"> • 0.5 spaces/unit • 0.25 spaces/resident, plus • 1 space/2 employees
(D) Hotel/Motel	<ul style="list-style-type: none"> • 0.8 spaces/guest rooms (up to 40 guest rooms) • 0.5 spaces/guest room (after 40)
(E) Retail	<ul style="list-style-type: none"> • 1 space/400-300 sq. ft. of gross floor area above 2,500 sq. ft.
(F) Offices, Business & Professional /Health-Care	<ul style="list-style-type: none"> • 1 space/1,000-400 sq. ft. of gross floor area above 2,500 sq. ft.
(G) Offices & Clinics, Medical & Dental	<ul style="list-style-type: none"> • 1 space/500 sq. ft. of gross floor area
(H G) Food and Drink Establishments	<ul style="list-style-type: none"> • 1 space/75-50 sq. ft. of patron area above 1,000 sq. ft.
All Other uses shall comply with the number of parking spaces required parking standards provided in section 30-70.8 of the Village of Palmetto Bay Code.	

- (c) (a) For all off-site private parking in a parking structure or surface parking lot subject to the standards above, applicant/owner must submit a parking covenant attached to proposed development plans documentation acceptable to the village attorney evidencing a long-term lease agreement or ownership of the parking site being used to meet parking requirements.
4. **Off-site public parking.** Some or all of the required number of parking spaces may be satisfied by counting the number of parking spaces in publicly-available parking structures and surface parking lots and on-street public parking spaces either constructed by the developer on edges of the development parcel or provided by others, provided the spaces are within 1,000 feet of the nearest point of the parcel being developed.
- (a) This distance shall be measured by the normal and legal way a pedestrian would travel from the edge of the parcel to each parking space.
- (b) Each eligible parking space may substitute for one-half of a parking space required for the proposed development.
- (c) Each eligible parking space that has been designated as a pickup point for taxis or car/bike-share services may substitute for three parking spaces required for the proposed development.
3. At a minimum, the number of parking spaces shall be provided in accordance with Table 31.
- (a) Reductions from the total parking spaces required by the development are offered as part of the village parking incentives program, section 1.07 A.
- (b) In addition to the vehicle parking, for every ten parking spaces required, one bicycle parking space shall be provided.
- (i) A minimum of 25 percent of the required bicycle parking shall be provided along the primary street frontage as identified in the street hierarchy plan, section 2.05.
5. 4. **Parking structures.**
- (a) **Liners buildings.** Parking structures shall be lined with a minimum of 20 feet of habitable building space along streets, to preserve the character of the street facade, Figure 36 28. However, buildings with the service frontage type have more lenient requirements; see Section 4.03.H.
- (b) **Roofs.** The roof of all parking structures shall be programmed with usable building surface such as: green roof, amenity deck (private open space) or for renewable energy generation.
- (c) **Placement.** 6: Unless lined as provided above, private parking structures/garages shall be located at the rear of the lot, or facing the side of the lot provided any exposed portion of the structure is at least 30 feet from the front lot line. The Village encourages developers to cover exposed walls with vegetation that is supported by trellis panels, cables, or wire netting. For lots with three or more multiple frontages, the garage structure may shall face the lowest ranking street. See section 2.05 for street type hierarchy plan and priority rankings. Buildings with a service frontage type have more lenient requirements; see Sec. 4.03.H.

Figure 36 28

Parking Structure Liners Bui



- (d) **Mechanized parking.** 7. Mechanized parking shall be allowed towards parking counts for all off-street parking within the Downtown Urban Village (DUV) and shall comply with the following:
- (a) A queuing analysis must be submitted with application for review. See section 1.05.
 - (b) Mechanized parking spaces shall not account for more than 50 percent of the total parking count. (i) For residential developments on lots less than 15,000 square feet 100 percent of the parking requirements may be mechanical parking.

6. Surface parking lots.

- (a) **Location.** 5. Surface parking shall be lined with habitable building space or decorative wall/landscaping at the build-to-line, Figure 28:
- (a) Wall/landscape hedge shall be minimum 36 inches and maximum 72 inches. Surface parking lots shall not encroach into the setback areas described on Figure 38 and Table 31, except with service frontage type (see Section 403.H), any required yards.

- 7.8. Disabilities.** Parking for individuals with disabilities shall comply with the standards of the Florida Building Code.

D. Services standards

1. **On-site** All services shall be subject to the following:
 - (a) Where there is an alley present:
 - (i) All services, including utility access, above ground equipment and trash enclosures shall be located on alleys.
 - (b) Where there is no alley present:
 - (i) All services, including utility access, above ground equipment and trash enclosures, shall be accessed in accordance with Sec. 4.04.B.1, located within the build-to-line, and subject to all applicable standards for building placement.
2. (e) All services shall be screened from the street view by habitable building space or landscaping/wall and shall not encroach into required setback and landscaped areas.
3. 2. All new utility lines utilities, other than fire hydrants, shall run underground and be accessed according to the standards of this section.
4. (a) For all development with primary frontage along the SW 97th Avenue (Franjo Road street type (section 2.05), all existing street utilities must be replaced underground at the time of development.

Figure 38 Surface Parking Setbacks

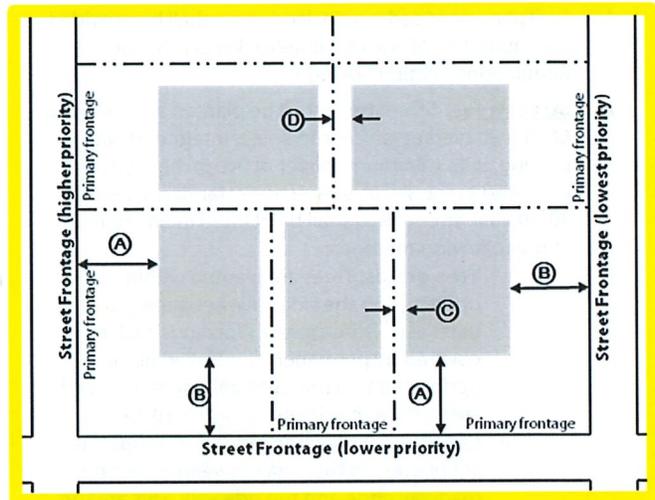


Table 31 Surface Parking Setbacks

Parking setback, primary frontage	30' min.	A
Parking setback, other frontage	20' min.	B
Parking setback, side (interior)	8' min.	C
Parking setback, rear	5' min.	D

- E. **Reserved.** Private open space standards:
1. Private open space in the form of courtyards, balconies, terraces, lawns, community gardens, amenity recreation decks and landscaped roof terraces/gardens on buildings/parking structures:
 - (a) Permitted frontage types shall count towards meeting the private open space requirements of these regulations. See Sec. 4.04.
 - (b) The area of any covered patio, gazebo or other roofed shade structures shall count towards meeting the private open space requirements, as long as two sides are opened to the outside.

F. **Landscape standards.**

1. Except as provided herein, landscape shall be provided as required in Village of Palmetto Bay Landscape Regulations, section 30-100.1.
2. **Street trees.** Street trees shall be planted at a maximum of 25 feet average on center, unless integrated with parking, with minimum caliper of five inches. (a) As indicated in the street connectivity standards, section 30-50.23.5, street trees shall be planted in one or more of the following methods:
 - (i) **Tree grates:** Trees are planted within openings on the sidewalk, between groups of parallel parking spaces. Openings shall be covered by permanently installed grates perforated to permit natural irrigation, which are flush to the sidewalk, Figure 39 29.
 - (ii) **Continuous planting landscape strips:** Trees are planted in the area between the curb or roadway edge and the sidewalk. This area, in addition to the required trees, shall be covered with grass and other natural ground cover to permit natural irrigation Figure 40 31.
 - (iii) **Landscape islands:** Trees are planted in the landscaped area between groups of parallel parking spaces. Area should be covered with grass and other natural ground cover to permit natural irrigation Figure 41 30.

Figure 39 29

Tree Grates

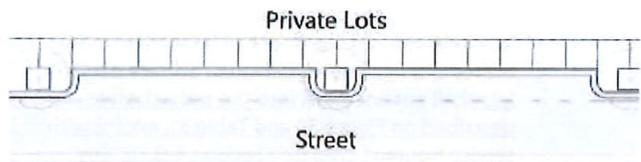


Figure 40 31

Continuous Planting Landscape Strips

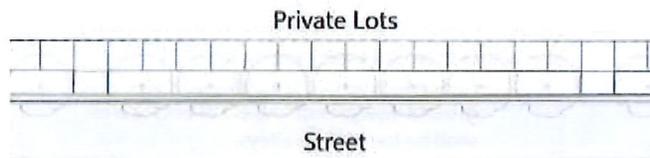
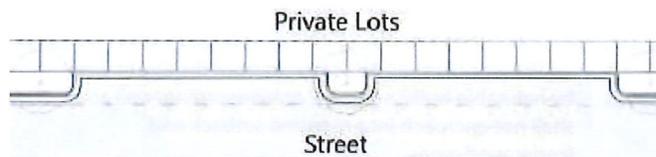


Figure 41 30

Landscape Islands



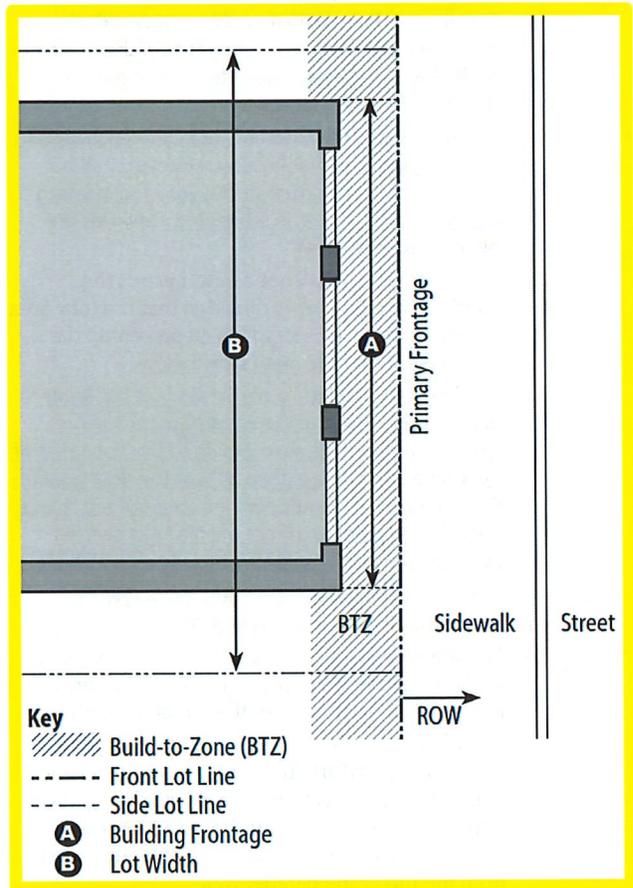
G. Building frontage percentage standards.

1. The portion of a new building's façade that is located in the build-to zone is called the building frontage. The width of the building frontage must comply with the building frontage percentage standards for the frontage type chosen for that building (see Sec. 4.02).
 - (a) Building frontage percentages are calculated by dividing the width of a building lying within the build-to zone (A) by the width of the lot along the same street frontage (B), as shown in Figure 42.
 - (b) Ranges of allowable building frontage percentages are specified for individual frontage types in Sec. 4.03.
 - (c) For certain architectural features described in this code, a portion of a building's façade that lies outside the build-to zone may be counted as building frontage. Examples are forecourts or lobby entrances that complies with the standards in Sections 4.05.E or 4.05.G.
 - (d) For properties with multiple street frontages, see Sec. 4.04.A.
1. Buildings shall occupy a percentage of primary frontage along the street, at the build-to line, by sector, according to Table 32.
 - (a) Lots within the (UV) sector and with primary frontage along Franjo Road shall occupy 80 percent minimum at the build-to line.
 - (b) For buildings with multiple street frontages, percentage must be applied to the highest ranking street according to section 2.05 street hierarchy plan.
2. All buildings shall have a street level frontage types, according to section 4.04 A. E.7.(b) and shall comply with the applicable standards in section 4.05.
 - (a) For the purpose of calculating the percentage of frontage occupied at the build-to line, permitted frontage types shall count towards the minimum requirement, as long as, all other standards are met.
- 2.3. For buildings on sites with greater than 300 feet of frontage, along a street without an intervening alley, a pedestrian-only paseo, minimum 15 feet in width, shall be provided.
 - (a) Pedestrian paseo shall be designed on the frontage so that cross-block access is no more than 200 feet from a street or other pedestrian paseo.

Table 32 Minimum Frontage Occupation

Sector	Frontage Occupation (min.)
(DV) Downtown Village	80%
(DG) Downtown-General	80%
(UV) Urban Village	70%
(NV) Neighborhood Village	60%

Figure 42 Building Frontage Percentages



H. Building height size and massing.

1. **Building height.** The height of buildings is determined by sector. Sec. 3.01 establishes the minimum and maximum number of stories allowed in each sector. Criteria for bonus height are found in Sec. 1.09. Buildings shall be built according to the minimum/maximum heights by sector, section 3.02 A. D.1. 3; For the purpose of calculating the number of stories in a building, stories shall be defined as the habitable building occupied space between finished floor and finished ceiling, adjusted as follows: Table 33 identifies the permitted heights for individual stories, within each building type.
 - (a) Basements shall not be considered towards the building height (stories), when the finished surface of the floor, one story above the basement is less than four feet above grade.
 - (a) (b) Above ground structure, including each level in a parking garage, that occupy any level shall be considered as individual stories when calculating the number of stories in a building, towards the building height (feet).
 - (b) (c) A mezzanine shall not count towards the number of stories floors provided that the total area of mezzanine level is less than 40 percent of the floor area of that the main story below.
 - (c) Buildings may include a partial story of habitable building space above the maximum number of stories otherwise allowed provided the floor area of the partial story is less than 30% of the floor area on the story below. Developers are encouraged to use this allowance for architectural features such as corner towers, lofts, cupolas, etc.
2. Building height shall not exceed 125 feet anywhere within the Downtown Urban Village (DUV).
 - (d) (a) Parapet walls are required for flat or low-slope roofs and shall be a minimum of 44 maximum 40 inches tall, measured from the top of the highest slab of the for a flat roof.
 - (e) (b) Any objects/structures, such as for mechanical equipment or recreational use, shall not encroach into the highlighted area in Figure 43 32 and shall not exceed maximum 15 feet in height, measured from the top of the parapet wall.
 - (i) Stair and elevator towers shall be exempt from the highlighted area Figure 43 32 provided that they be a design element, consistent with the architectural concept of the building.
 - (f) For floor elevations and ceiling heights, see Sec. 4.04.L.

Table 33 Permitted Heights by Story

Building Types	Ground Story	Story 2+
Flexible Block-Flex Building	14 ft. (min.)—18 ft. (max.)	9 ft. (min.)—12 ft. (max.)
Rowhouse-Stacked Apartment	10 ft. (min.)—14 ft. (max.)	8 ft. (min.)—12 ft. (max.)
Single Family House	9 ft. (min.)—12 ft. (max.)	

Key
 Permitted —●—
 Non-Permitted —○—

Figure 32 Parapet Wall and Roof Object Siting

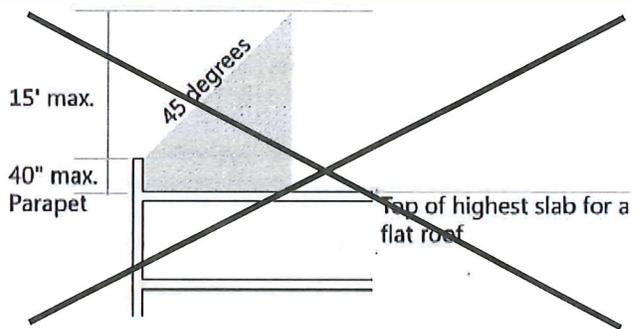
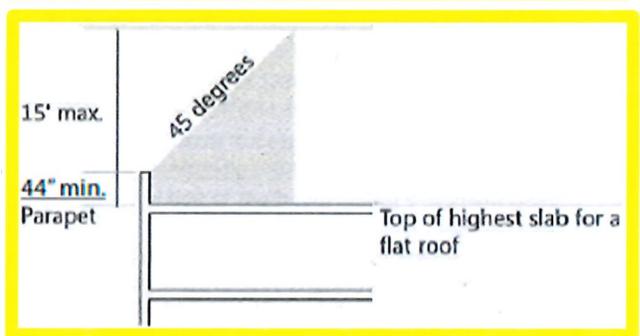


Figure 43 Parapet Wall and Roof Section



- 2. Building massing.** Buildings shall be constructed as variable masses, with applied horizontal and vertical extrusions to create the desired building form.
- (a) No building shall occupy more than 250 feet of continuous frontage, along any street within the Downtown zoning district, DUV.
 - (b) For building articulation, a break in building facade shall occur every 60 feet maximum on buildings that occupy 150 feet, or more, of continuous frontage.
 - (i) Break in building facade shall be recessed from the building frontage build-to-line, up to two feet maximum and shall be at a minimum, be the height of the first two stories base element of the building, where required.

3. Density. Maximum residential density is determined by sector. Sec. 3.01 establishes the maximum density allowed in each sector. Criteria for bonus density are found in Sec. 1.05.C. 4. Multi-family residential buildings shall meet the density requirements, as identified in the residential density map.

5. Residential components of a multi-family dwelling units, Figure 33, shall be any combination of the following dwelling units:

- (a) Flat: A single-story dwelling unit, occupied by one household.
- (b) Loft: A double-story height dwelling unit with or without mezzanine, occupied by one household.
- (c) Townhouse: A two- or more-story dwelling unit, occupied by one household.

6. All residential units shall be 24 inches minimum above flood level criteria or average crown of the road, whichever is greater.

I. Accessory structures.

1. Accessory structures shall be permitted with specifically allowed building types Table 34, within the Urban Village (UV) and the Neighborhood Village (NV) sectors.

2. Accessory structures shall be subject to all required minimum setbacks of the frontage type sector, section 4.03.3.02 A. D.1., and must be ten feet minimum from the principal building, Figure 34.

3. The height of an accessory structure shall not exceed 14 feet, measured from the average crown of the road to the highest point on the roof, the minimum allowed height of the principal building on-site.

J. Accessory dwellings.

1. Accessory dwellings shall be permitted within the principal building or accessory structures. Only a single accessory dwelling is allowed on a lot and specifically allowed building types, section 4.04 C., E.10.(a), within the Urban Village (UV) and the Neighborhood Village (NV) sectors.

2. The height of an accessory dwelling shall be one story in height and shall not exceed 600 square feet area.

- (a) A flat, section 4.03 H.5.(a), may be located on the second floor of an accessory structure when first floor is occupied by a private garage.
- (b) Accessory dwellings shall not have a culinary facility within unit.

Figure 33 Types of Dwelling Units

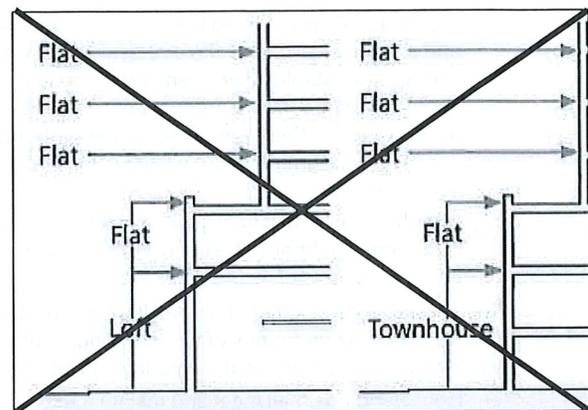
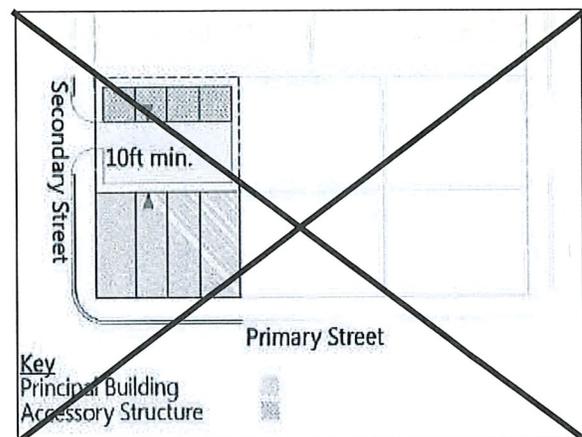


Table 34 Accessory Structure

	UV	NV	
Building Types			Accessory Structure
Flexible Block		○	Height (max.)
Flex Building		○	N/A
Rowhouse		●	N/A
Stacked Apartment		●	2 stories
Single Family House		●	2 stories
Key			
		●	Permitted
		○	Non-Permitted

Figure 34 Accessory Structures



K. Lighting.

1. All lighting shall comply with the following:
 - (a) Lighting shall be provided in these areas: Driveways and parking areas, sidewalks and pedestrian paseos, commercial establishments, entryways, recreation areas and multi-family common areas and entryways.
 - (i) Lighting of these area shall comply with section 30-60.6, Lighting of the Village of Palmetto Bay Code.
 - (b) All light fixtures shall be of a pedestrian scale, with a maximum height of 18 feet and a maximum spacing between fixtures of 60 feet.
2. The type and style of light fixtures shall be approved by the director, based on uniformity of types, location, right-of-way width along streets and illumination and light trespass.
 - (a) Light standards shall meet and maintain the recommended luminance range and uniformity for each use and/or structure, as specified in the latest issue of the Illuminating Engineering Society of North America's (IESNA) publication.
 - (b) Light standards shall meet and maintain the recommended luminance range to minimize light trespass, as specified in the latest issue of the Illuminating Engineering Society of North America's (IESNA) publication.

L. Floors and Ceilings

1. Standards in this code establish minimum or maximum dimensions for floor elevations and minimum dimensions for ceiling heights. Figure 44 and Table 32 illustrate how these standards are measured:
 - (a) Floor elevations are measured from the existing or anticipated sidewalk to the top of the finished floor of the ground story.
 - (b) Ceiling heights are measured from the top of the finished floor to the underside of the finished ceiling of each story.
2. For the maximum height of buildings, see Sec. 4.04.H.

Figure 44 Floor and Ceiling Measurements

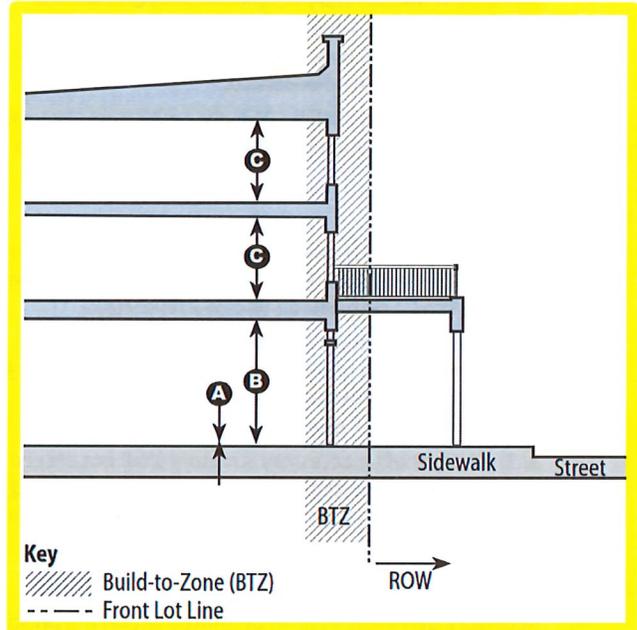


Table 32 Floor and Ceiling Measurements

Elevation of ground-story floor above sidewalk	A
Minimum height of ground-story ceiling	B
Minimum height of upper-story ceilings	C

M. New Streets and Alleys

1. **New Streets Plan.** The New Streets Plan (Figure 3 in Sec. 2.03) shows the location of new streets and alley needed to create an improved network of streets and blocks to achieve the Downtown goals of the Village of Palmetto Bay.
2. **Construction and Dedication Required.** Developers shall construct and dedicate all portions of a new street or alley shown on Figure 3 that are contained within a development site or on abutting land under common control.
 - (a) New streets and alleys shall be constructed in the same general location as shown in the New Streets Plan (Figure 3). A developer may propose a minor modification to the location during the site plan approval process. If the modified location would provide equivalent access and functionality and would not negatively affect abutting landowners or diminish the usefulness of the proposed improvements to the street network, the modification may be approved by staff during the site plan review process, or for applications that require public hearing review, may be approved by the Village Council.
 - (b) For new alleys only, a development proposal for an entire block may request the elimination of proposed alleys within that block. If the proposed site and building configuration would accommodate all functions of the proposed alley(s) in an acceptable manner, the elimination may be approved by staff during the site plan review process, or for applications that require public hearing review, may be approved by the Village Council.
3. **Design and Construction Standards.** New streets and alleys shall be constructed using the thoroughfare standards in Sec. 5 for the street type designated on Figure 5.
 - (a) New rights-of-way shall be of the widths specified in Sec. 5.
 - (b) The right-of-way elements described in Sec. 5 shall be constructed by the developer concurrently with the development. The Miami-Dade County Complete Streets Design Guidelines shall be followed when Sec. 5 does not provide specific design guidance, for instance as to driveway widths, street tree spacing, curb radii at intersections, etc. Pavement, subgrade, drainage, and utilities must meet the construction specifications in the Miami-Dade County Public Works Manual.
 - (c) After formal acceptance by the Village, the right-of-way shall be dedicated to the Village. The Village retains the right to reject the dedication and require an acceptable alternative, which may include private maintenance and a guarantee of perpetual public access or dedication to another governmental entity.
4. **Extending Beyond Development Site.** In some instances, a new street or alley shown on Figure 3 may not be contained on a single development site or on abutting land under common control.

- (a) When a new street is proposed to continue onto land controlled by others, the street shall include a temporary termination acceptable to the Village Manager.
- (b) When a new street or alley runs along the border between a development site and abutting parcels, the developer shall construct the entire street or alley on the edge of the development site.

N. Streetscape Improvements Generally

1. **Streetscape Improvements Required.** Section 5 identifies thoroughfare standards for new and existing streets that will implement the Village of Palmetto Bay's vision for a multi-modal, ped/bike-friendly street network.
 - (a) While developing and redeveloping property in the DV, DG, and UV sectors, the specified sidewalk, on-street parking, and landscape area improvements for all street frontages of development sites must be included in the application for site plan review (see Sec. 1.05.B).
 - (b) These improvements must implement the thoroughfare standards in Section 5 and must be constructed at the developer's expense concurrently with the development.
2. **Exceptions.** These streetscape improvement requirements will not apply under certain circumstances:
 - (a) When development is proposed on a parcel with 100 feet or less of street frontage and the improvements in Section 5 have not been completed or required for any other parcels on that block face; or
 - (b) When the authority with jurisdiction over the right-of-way refuses permission to construct the streetscape improvements using the standards in Section 5 or using any lesser standards that are acceptable to the Village Manager.
3. **Sidewalk Easements Required.** For properties that front on 'Primary' or 'Secondary' streets where the existing right-of-way is only 40 feet wide, a 5-foot perpetual sidewalk easement must be dedicated prior to commencement of development (see Secs. 5.05 and 5.07).

O. Streetscape Improvements on Franjo Road

1. **Purpose.** Franjo Road from Indigo Street to northbound US 1 is identified on the Street Type Plan as the emerging civic heart of the Downtown (see Figure 5 in Sec. 2.05). Franjo Road will become the vital and walkable center of the entire Village of Palmetto Bay as its many civic activities are complemented with mixed-use buildings and ground-level shops.
2. **Right-of-way Dedication Required.** To maximize walkability and support civic activities and shops, the Village intends to rebuild portions of Franjo Road at public expense. During the development or redevelopment process, properties on the west side of Franjo Road from Hibiscus Street to SW 174th Street must dedicate the missing western portion of the anticipated 70-foot right-of-way for Franjo Road. This dedication of right-of-way may qualify a development for bonus building height; see Sec. 1.09.B.2 and Figure 4
3. **Sidewalk Easements Required.** For properties that front on Franjo Road from Indigo Street to northbound US 1, a 12-foot perpetual sidewalk easement must be dedicated prior to commencement of development (see Sec. 5.02).

Section 4.05 Architectural Features for All Frontage Types

This section describes a variety of architectural features and provides standards and/or dimensions for each. Some architectural features are required for certain frontage types, as indicated in Table 33 below. Other architectural features are optional (except where noted); to encourage their use, this section often allows them to extend beyond the exterior wall

provided this code's standards for that feature are met. Each required and optional architectural feature is described on the following pages. Table 33 below defines which architectural features are required and which are optional; architectural features are listed on the top row and frontage types are listed in the left column.

Table 33 Required & Optional Architectural Features

		ARCHITECTURAL FEATURES										
		Transpar- ency	Main Entrance	Gallery	Store- front	Fore- court	Stoop	Porch	Canopy	Awning	Balcony	Bay Window
FRONTAGE TYPES	Gallery	■	■	■	■*	■	□	□	□	□	□	□
	Storefront	■	■	□	■	■	□	□	■	■	□	□
	Forecourt	■	■	□	■*	■	□	■	■	■	□	□
	Stoop	■	■	□	□	□	■	□	■	■	□	□
	Porch	■	■	□	□	□	□	■	□	■	□	□
	Canopy	■	■	□	■*	■	□	□	■	■	□	□
	Lobby	■	■	□	■*	■	■	■	■	■	□	□
	Service	□	□	□	■*	■	□	□	■	■	□	□

Key:

- Required
- Allowed
- Allowed in upper stories
- Not allowed

Special requirement: *

For developments with gross floor area greater than 150,000 sq. ft., a minimum of 10% of the building frontage must be constructed with the storefront architectural feature; see Sec. 4.05.D.

A. Façade Transparency.

1. Transparency means the amount of transparent window glass or other openings in a building's facade along a street frontage, relative to the overall surface area of the facade. This ratio is expressed as a percentage and is calculated separately for the ground story of a facade and for each upper story.
2. Building facades along a street frontage must meet the minimum facade transparency requirements in Table 34 to provide natural surveillance of sidewalks and streets, to provide interior daylight, and to allow clear views into storefronts.
3. Façade transparency percentages are calculated for the area between the finished floor and finished ceiling of each story along each street frontage. For the purposes of these measurements:
 - (a) Glazed windows and doors with tinted glass or applied films will be considered transparent if they transmit at least 50% of visible daylight.
 - (b) The transparent area of windows and doors includes rails and stiles as well as muntin bars and other separators within primarily glazed areas; but the transparent area excludes outer solid areas such as jambs, sills, and trim.

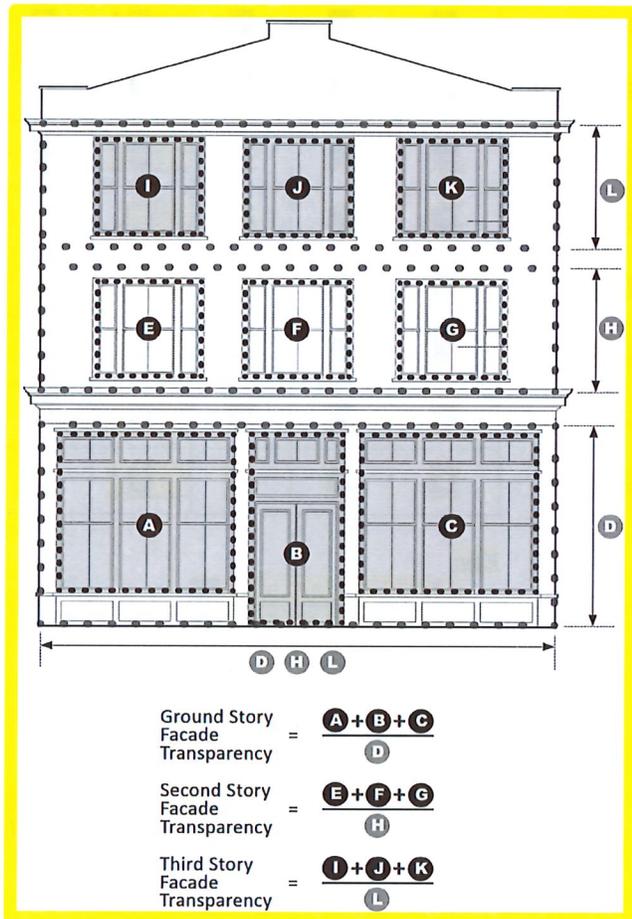
B. Main Entrance.

1. A building's main entrance is its principal point of access for pedestrians. All buildings must have their main entrance facing a street frontage or a courtyard or forecourt that is entered from a street frontage. Additional entrances are encouraged.
2. Buildings fronting on more than one street must have a main entrance along the building's primary frontage, which is the highest priority street type as identified in the Street Type Plan, Figure 5, and must have another main entrance where required by the frontage type facing other streets.
3. Public entry and exit doors which swing outward must be recessed into the facade a minimum of three feet if the building abuts an existing or future sidewalk.
4. Additional rules for storefront doors are provided in 4.05.D.

Table 34 Façade Transparency Percentages

FRONTAGE TYPE	GROUND STORY	EACH UPPER STORY
Gallery	30% min.	20% min.
Storefront	70% min.	40% min.
Forecourt	30% min.	20% min.
Stoop	20% min.	20% min.
Porch	20% min.	20% min.
Canopy	30% min.	20% min.
Lobby	30% min.	20% min.
Service	0% min.	0% min.

Figure 48 Calculating Façade Transparency



C. Gallery.

1. A gallery is a roofed promenade extending along the wall of a building and supported by arches or columns on the outer side. A gallery shields space below like a canopy but provides usable space above, either private open space or fully enclosed space. Depending on its design, a gallery can be an arcade, a colonnade, or a primarily decorative feature.
2. To encourage the construction of galleries, galleries are allowed to project horizontally beyond the closest point to a property line where an exterior wall may be constructed, including over a public right-of-way. See Sec. 4.05.L for allowances and limitations on such encroachments. To qualify for these encroachments, the gallery must meet the following requirements:
 - (a) The depth and elevation of the gallery must meet the requirements in Table 35.
 - (b) The space below the gallery must be at the same elevation as, and accessible from, the sidewalk, and must remain as unscreened, open, unairconditioned space.
 - (c) The columns supporting the gallery must be at least 2 feet from an existing or planned curb and may not be placed at any other location in a public sidewalk.
 - (d) Additional requirements apply to galleries in the gallery frontage type; see Sec. 4.03.C.

Figure 49 Gallery Section and Plan

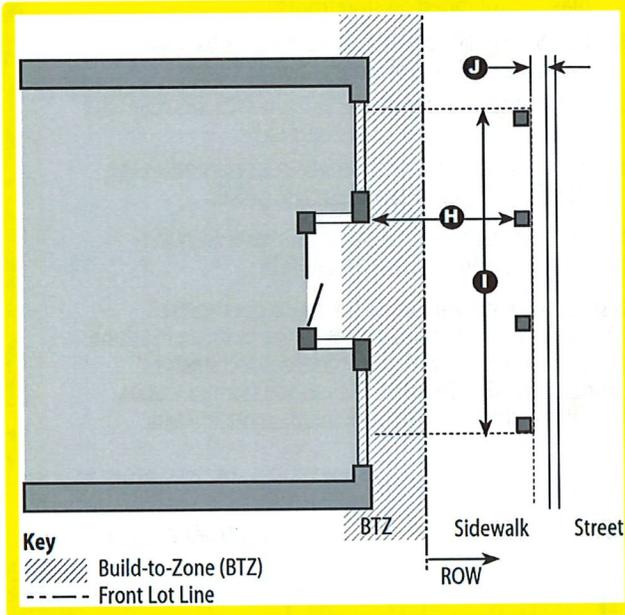
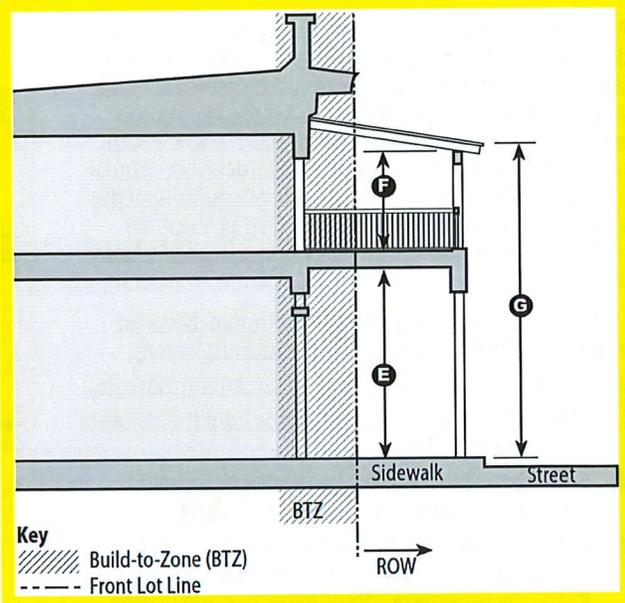


Table 35 Gallery Dimensions

	Dimension	Key
Ceiling height	12' min. clear for ground story 9' min. clear for upper story	E F
Overall height	2 stories max.	G
Depth	8' min. clear path for pedestrians	H
Width	10' min.	I
Setback from curb	2' min.	J
Cumulative gallery width	70% of building frontage min. (for gallery frontage type only)	

D. Storefront.

1. A storefront is a flexible space at the sidewalk level that is directly accessible by pedestrians and suitable for retail sales. A storefront has a mostly transparent façade and a gallery, canopy, or awning that shades the storefront's window and doors and the sidewalk. Main entrances to each storefront open directly onto the sidewalk or onto a forecourt. Storefronts may be the primary purpose of the ground story, or storefronts may be used to line other portions of a building such as a parking garage or a larger store.
2. To encourage the construction of appropriately scaled storefronts, the following requirements must be met:
 - (a) Storefronts must meet the requirements in Table 36.
 - (b) Storefronts must remain accessible from the sidewalk during business hours.
 - (c) Storefront windows must be shaded by a gallery, canopy, or awning as described in Sec. 4.04.
 - (d) Storefront windows may not be made opaque by window treatments (except for operable sunscreens inside the window or room). Reflective and frosted glass is prohibited on storefronts.
 - (e) Storefront doors shall contain at least 60 percent transparent glass. Solid doors are prohibited.
 - (f) Storefronts shall have an expression line between the first and second story; see Figure 51.
 - (g) Additional requirements apply to storefronts in the storefront frontage type; see Sec. 4.03.B.
3. The storefront architectural feature is required in the storefront frontage type; see Sec. 4.03.B.
4. For developments with gross floor area greater than 150,000 sq. ft., a minimum of 10% of the building frontage must be constructed with the storefront architectural feature. Table 33 in Sec. 4.05 defines the frontage types where this architectural feature may be constructed.

Figure 50 Storefront Section and Plan

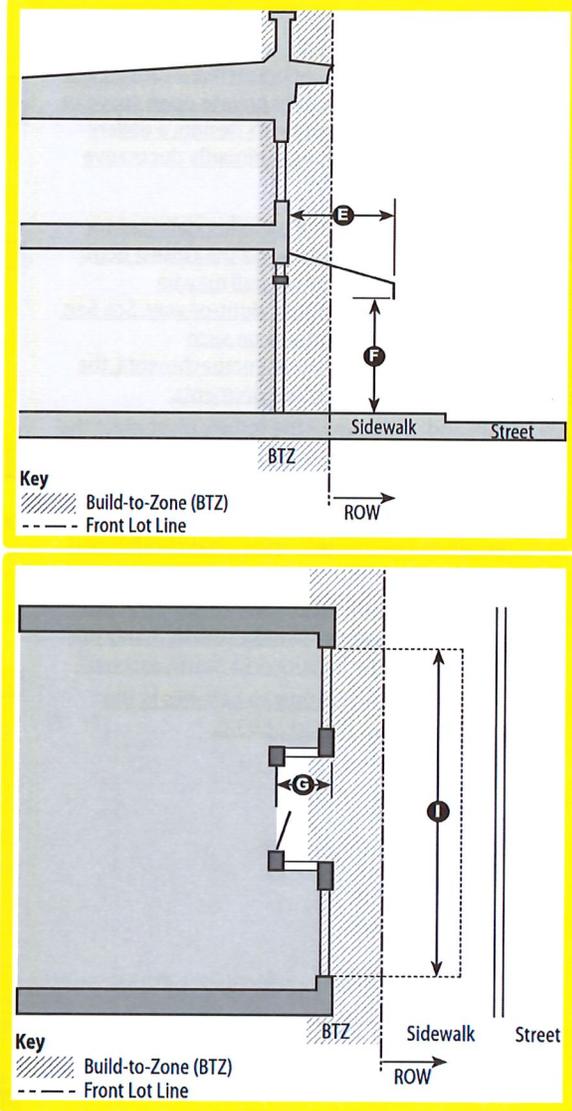


Figure 51 Storefront Facade

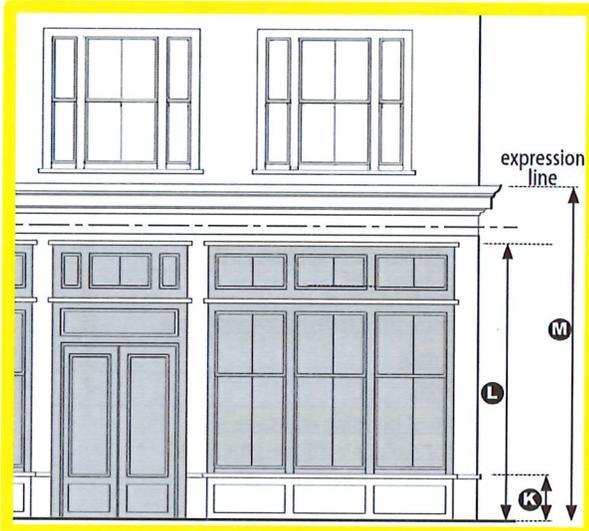


Table 36 Storefront Dimensions

	Dimension	Key
Cover depth	4' min., see Sec. 4.05.L for max.	E
Cover height	10' min. clear	F
Door recess	5' max.	G
Cumulative storefront width	70% of façade width min. (for storefront frontage type only)	I
Window sills	1' min., 3' max. above sidewalk	K
Top of windows	8' min. above sidewalk	L
Expression line	10' min. and below second story	M
Transparency	(see Sec. 4.05.A)	
Door intervals	no more than 50' apart (for storefront frontage type only)	

E. Forecourt.

1. A forecourt is a small private open space that is open to the sidewalk and bounded on two or three sides by the exterior walls of buildings. Forecourts can be at sidewalk level or elevated at the top of an exterior staircase. The main entrance to the building can be reached from the forecourt or directly from the sidewalk. Forecourts can be semi-public in commercial contexts such as restaurants, storefronts, or office buildings. Forecourts can also be used along auto-dominated thoroughfares to provide well-shaped, intimately sized outdoor spaces.
2. To encourage the construction of appropriately scaled forecourts, the width of a forecourt will be considered as if were part of the building's primary frontage for purposes of meeting the frontage percentage standards in Sec. 4.04.G. To qualify for this allowance, the forecourt must meet the following requirements:
 - (a) The width and depth of forecourts must meet the requirements in Table 37.
 - (b) Forecourts must remain accessible from the sidewalk in commercial contexts such as restaurants, storefronts, or office buildings.
 - (c) Additional requirements apply to forecourts in the forecourt frontage type; see Sec. 4.03.C.

Figure 52 Forecourt Section and Plan35

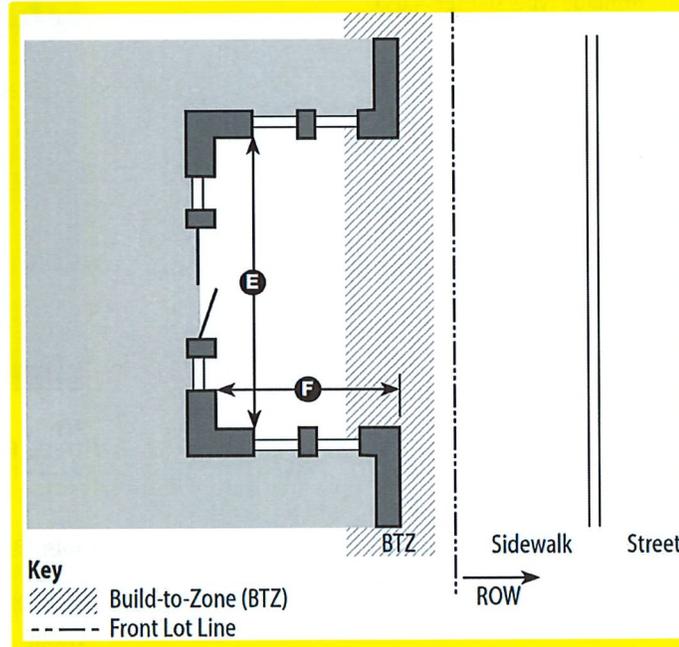
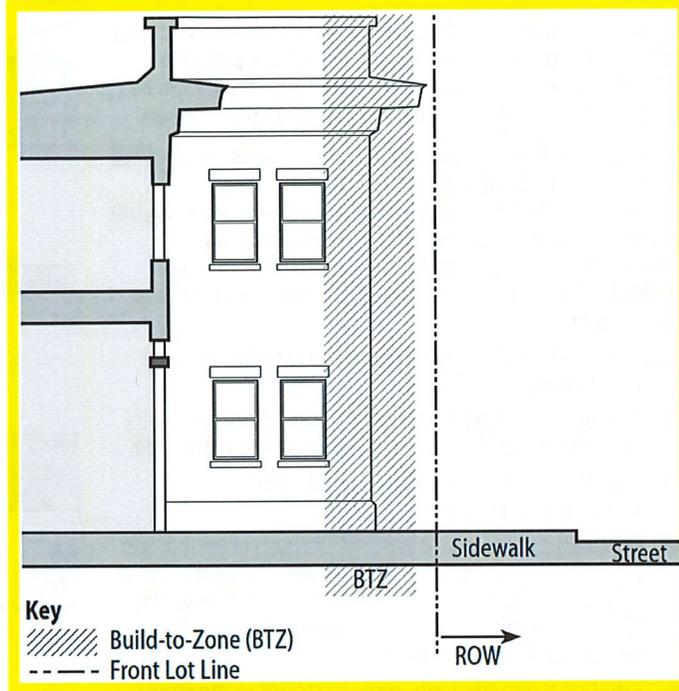


Table 37 Forecourt Dimensions

Dimension	Key
Width of individual forecourts	15' min.; 30% max. of building frontage except for forecourt frontage type E
Depth	10' min., 40' max. F
Width of combined forecourts	20% min., 40% max. of building frontage (for forecourt frontage type only) E

F. Stoop.

1. A stoop is a staircase and elevated entrance platform leading to the main entrance of a building. Stoops are generally taller than porches to match the higher ground-story floor levels that are needed to maintain privacy in urban areas.
2. To encourage the construction of stoops, stoops are allowed to project horizontally beyond the closest point to a property line where an exterior wall may be constructed, but never over a public right-of-way. See Sec. 4.05.L for allowances and limitations on such encroachments. To qualify for these encroachments, the stoop must meet the following requirements:
 - (a) The depth and elevation of the stoop must meet the requirements in Table 38.
 - (b) The stoop must be accessible from the sidewalk. Stairs from the stoop may descend forward or to either side.
 - (c) Stoops must remain as unscreened, open, unairconditioned parts of a building.
 - (d) Requirement for the height and strength of railings are provided by the Florida Building Code. Railings or other structures surrounding the stoop may not exceed the height required by the Florida Building Code and must be at least 80% transparent.
 - (e) Additional requirements apply to stoops in the stoop frontage type; see Sec. 4.03.D.

Figure 53 Stoop Section and Plan

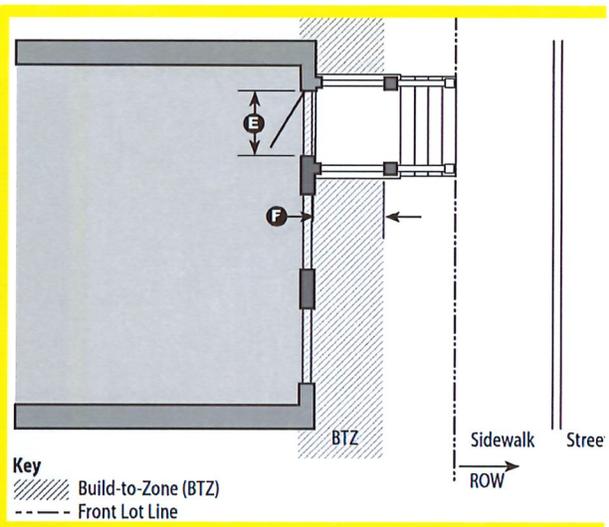
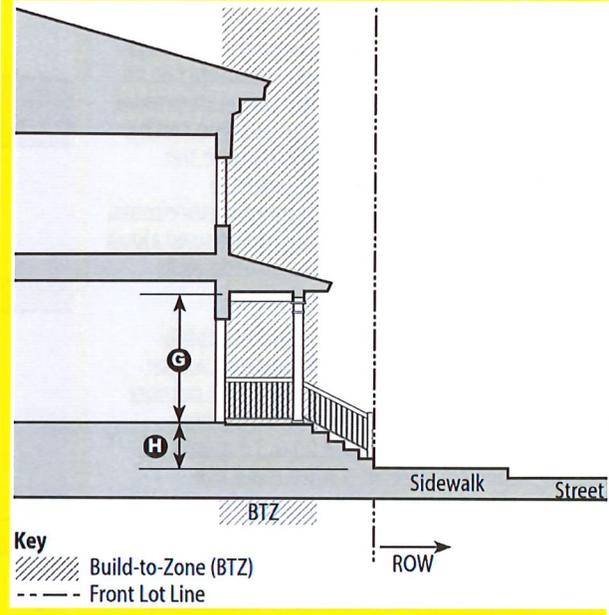


Table 38 Stoop Dimensions

	Dimension	Key
Width	5' min.; 8' max.	E
Depth	5' min.; 8' max.	F
Ceiling height	9' min. clear (if a ceiling is provided)	G
Elevation	3' min. above sidewalk	H
Railing transparency	80% min.	

G. Porch.

1. A porch is an elevated roofed entrance to a building that is large enough to function as private outdoor living space. Porch floors are at the same level as the ground story floors, which are elevated above the sidewalk to ensure privacy within the building.
2. To encourage the construction of porches, porches are allowed to project horizontally beyond the closest point to a property line where an exterior wall may be constructed, but never over a public right-of-way. See Sec. 4.05.L for allowances and limitations on such encroachments. To qualify for these encroachments, the porch must meet the following requirements:
 - (a) The depth, ceiling height, and elevation of the porch must meet the requirements in Table 39.
 - (b) The porch must be accessible from the sidewalk. Stairs from the porch may descend forward or to either side.
 - (c) Porches must remain as open, unairconditioned parts of a building.
 - (d) Requirement for the height and strength of railings are provided by the Florida Building Code. Railings or other structures surrounding the porch may not exceed the height required by the Florida Building Code and must be at least 80% transparent.
 - (e) Porches may have multi-story verandas and/or balconies above.
 - (f) Additional requirements apply to porches in the porch frontage type; see Sec. 4.03.E.

Figure 54 Porch Section and Plan

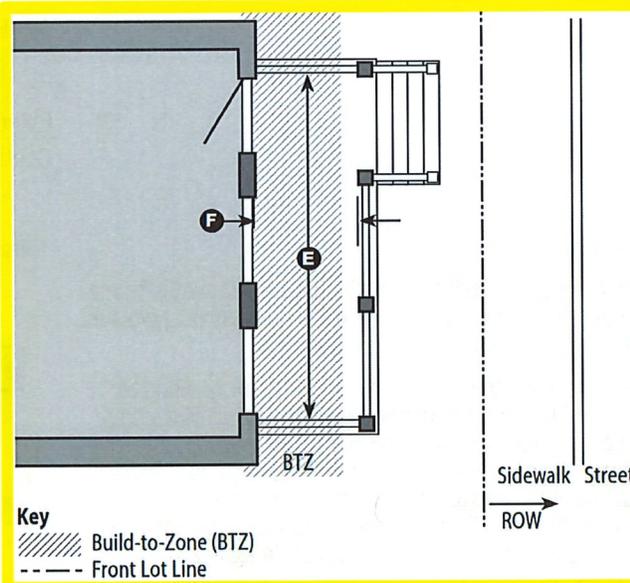
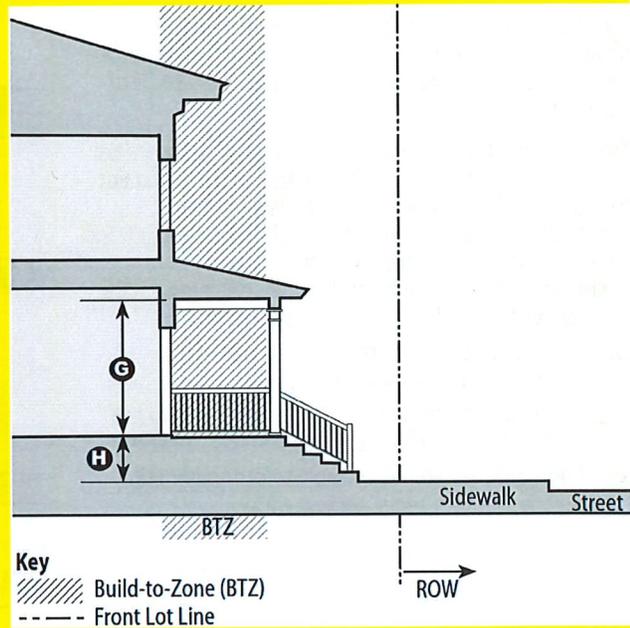


Table 39 Porch Dimensions

Dimension	Key
Width	10' min. (for porch frontage type only)
Depth	8' min. clear
Ceiling height	8' min. clear (if a ceiling is provided)
Elevation	2' min. above sidewalk
Setback from right-of-way	5' min. in UV sector 10' min. in NV sector
Railing transparency	80% min.

H. Canopy.

1. A canopy is a permanently attached rigid structure that projects outward from a building's exterior wall to shield windows, doors, sidewalks, or other spaces below from the elements.
2. To encourage the construction of canopies, canopies are allowed to project horizontally beyond the closest point to a property line where an exterior wall may be constructed, including over a public right-of-way. See Sec. 4.05.L for allowances and limitations on such encroachments. To qualify for these encroachments, the canopy must meet the following requirements:
 - (a) The depth of the canopy from the face of the building must be at least 8 feet.
 - (b) The height of the canopy from the sidewalk to the underside of the canopy must be at least 10 feet.
 - (c) Additional requirements apply to canopies in the canopy frontage type; see Sec. 4.03.F.

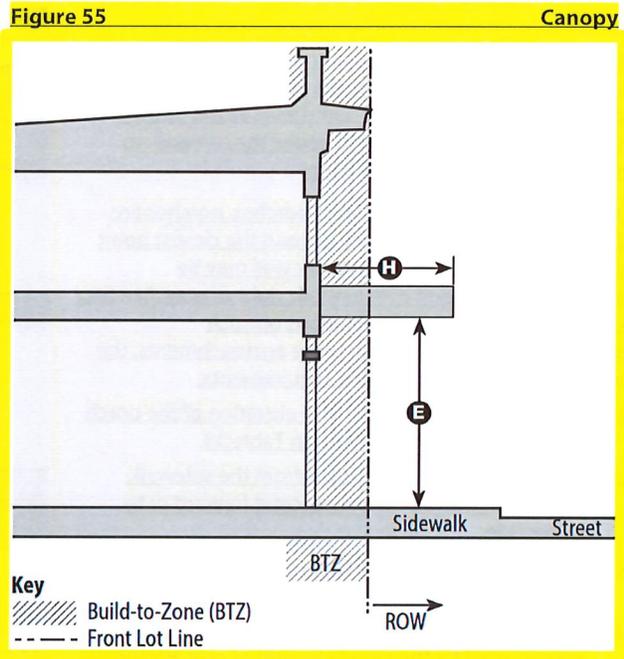


Table 40 Canopy Dimensions

	Dimension	Key
Height	10' min. clear above sidewalk	E
Depth	8' min.	H

I. Awning.

1. An awning is a flexible cover that projects outward from a building's exterior wall to shield a window, door, sidewalk, or other space below from the elements.
2. To encourage the construction of awnings, awnings are allowed to project horizontally beyond the closest point to a property line where an exterior wall may be constructed, including over a public right-of-way. See Sec. 4.05.L for allowances and limitations on such encroachments. To qualify for these encroachments, the awning must meet the following requirements:
 - (a) The depth of the awning from the face of the building must be at least 4 feet.
 - (b) The height of the awning from the sidewalk to the underside of the awning must be at least 10 feet.
 - (b) High-gloss or plasticized fabrics are prohibited.
 - (c) Backlighting of awnings is prohibited.

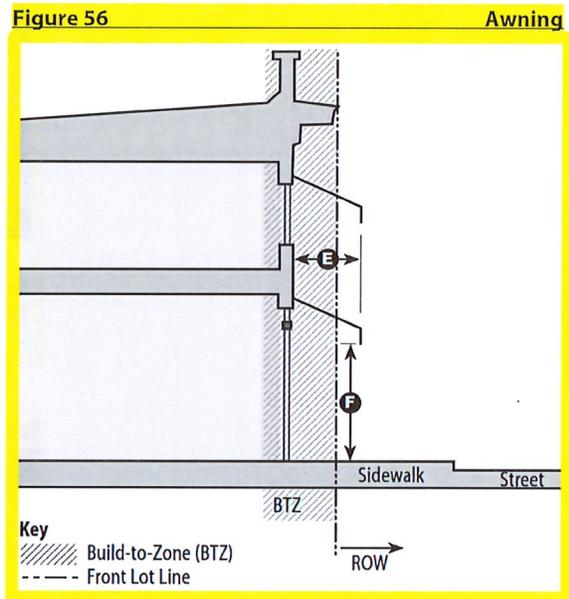


Table 41 Awning Dimensions

	Dimension	Key
Depth	4' min.	E
Height	10' min. clear	F