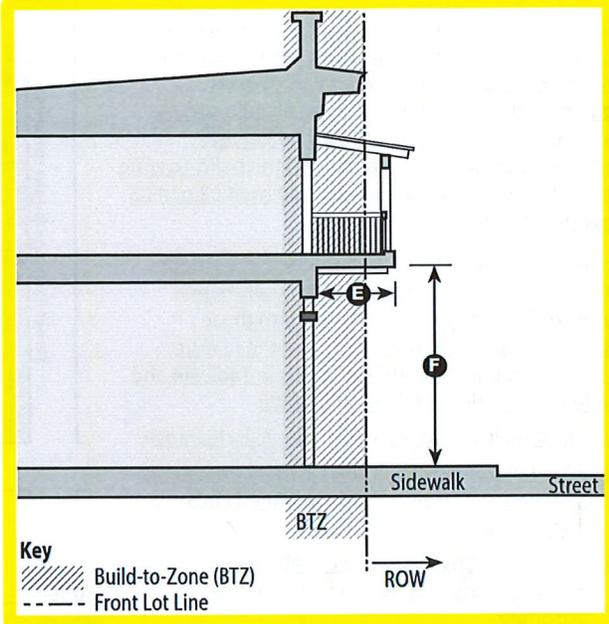


**J. Balcony.**

1. A balcony is an unenclosed private open space that typically projects outward from a building's exterior wall.
2. To encourage the construction of balconies, balconies are allowed to project horizontally beyond the closest point to a property line where an exterior wall may be constructed. Balconies in upper stories may also project horizontally over a public right-of-way. See Sec. 4.05.L for allowances and limitations on such encroachments.

**Figure 57 Balcony**



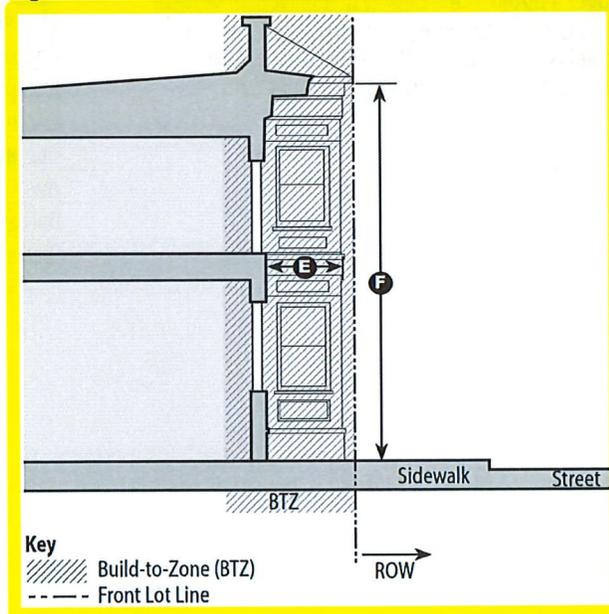
**Table 42 Awning Dimensions**

	Dimension	Key
Depth	4' min.	E
Height	10' min. clear	F

**K. Bay Window.**

1. A bay window creates interior space that projects outward from a building's exterior wall.
2. To encourage the construction of bay windows, bay windows are allowed to project horizontally beyond the closest point to a property line where an exterior wall may be constructed. Bay windows in upper stories may also project horizontally over a public right-of-way. See Sec. 4.05.L for allowances and limitations on such encroachments.

**Figure 58 Bay Window**



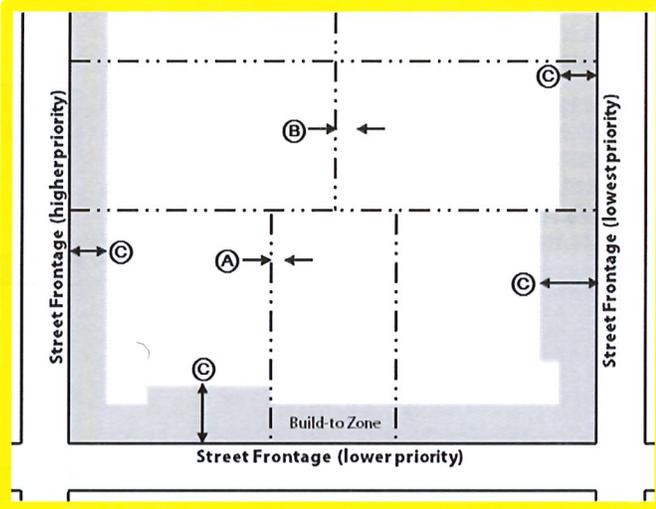
**Table 43 Bay Window Dimensions**

	Dimension	Key
Depth	4' min.	E
Height	2 stories max.	F

**L. Encroachments.**

1. Many architectural features described in Sections 4.03 or 4.05 may project beyond the closest point to a property line where an exterior wall may be constructed. Where these features are allowed by Table 33, they may encroach into side or rear setbacks or project forward beyond the build-to zone as described in Table 44, unless Sections 4.03 or 4.05 provide otherwise.
2. Some architectural features described in Sections 4.03 or 4.05 may also extend horizontally over a public right-of-way in accordance with those regulations provided that portion of the feature meets the public property standards in Table 44 and the following additional requirements:
  - (a) Must maintain at least 10' of vertical clearance.
  - (b) May not extend closer than 2' to an existing or planned curb (see Sec. 5 for planned curb locations).
  - (c) Must meet any insurance or liability requirements established by the Village Attorney.
  - (d) Each encroachment over a right-of-way not maintained by the Village must also obtain prior approval from the responsible entity.
3. Sidewalk cafes with outdoor table service may be provided on public sidewalks when in compliance with the Village's Sidewalk Café Ordinance. See Sec. 30-60.17.
4. Signage and lighting may project horizontally up to 2' over a public right-of-way if at least 8' of vertical clearance is maintained. This projection may increase a half foot for each additional foot of vertical clearance, up to 2' of additional projection.

**Figure 59 Encroachments**



**Table 44 Encroachments**

	<b>Dimension</b>	<b>Key</b>
<b>Side (interior) (all features)</b>	4' max. into side setback	<b>A</b>
<b>Rear (all features)</b>	4' max. into rear setback	<b>B</b>
<b>Front (on private property)</b>	no max. on private property	<b>C</b>
Except porches in UV	up to 5' from right-of-way	<b>C</b>
Except porches in NV	up to 10' from right-of-way	<b>C</b>
<b>Front (on public property)</b>		
Gallery	up to 2' from curb	
Storefront cover	up to 2' from curb	
Forecourt	not allowed	
Stoop	not allowed	
Porch	not allowed	
Canopy	up to 2' from curb	
Awning	up to 2' from curb	
Balcony	up to 2' from curb	
Bay window (upper story only)	up to 2' from curb	

**30-50.23.4 Architecture Standards**

**Section 4.01 Purpose**

This section identifies the range of building types permitted within the Village of Palmetto Bay Downtown Urban Village (DUV). The individual building types are presented in a range of most urban to least urban types. Each type is allowed as identified on the summary Table 30, and its requirements are described on the subsequent pages.

**Section 4.02 Permitted Building Types**

Subject to the requirements of the applicable sector, a proposed building type shall be designed as one of the building types.

**A. Flexible Block**

A potential mixed-use building type, occupied by one of or a combination of multi-family residential, commercial or offices at the ground floor and office/multi-family residential units on the floor(s) above. The building is intended to front more than two (2) street frontages and accommodate larger footprint commercial uses or structured parking within the envelope.

**B. Flex Building**

A potential mixed-use building type, occupied by one of or a combination of multi-family residential, commercial or offices at the ground floor and office/multi-family residential units on the floor(s) above. The building is intended to front no more than two (2) street frontages and the shallower footprint provides a versatile form for smaller lots with programmatic requirements, like service or parking in the rear.

**C. Rowhouse**

A residential building type that shares a party wall with the structure next to it. Each individual structure is occupied by one residence, on all floors, in an array of at least three (3) structures, side by side along the primary street frontage.

**D. Stacked Apartment**

A neighborhood scaled, multi-family residential building type with similar residential units throughout all floors of the building. Floor plans are intended to accommodate a variety of unit types.

**E. Single Family House**

A residential building type that accommodates one primary residence on all floor(s) of the structure and occupies the totality of the site in and of itself.

Table 30

Summary of Permitted Building Types

Building Types	Residential	Commercial/Retail	Office	Lot Width <sup>(i)</sup>	Lot Depth	Sectors			
						DV	DG	UV	UV
(A) Flexible Block	■	■	■	160ft (min.)	160ft (min.)	●	●	●	○
(B) Flex Building	■	■	■	80ft (min.)	100ft (min.)	●	●	●	●
(C) Rowhouse	■	■	■	80ft-125ft	100ft (min.)	○	○	●	●
(D) Stacked Apartment	■	□	□	80ft-200ft	100ft (min.)	○	○	●	●
(E) Single Family House	■	□	□	45ft-100ft	100ft (min.)	○	○	●	●

Key  
 Permitted   
 Non-Permitted   
 Allowed   
 Non-Allowed 

(i) Measurement taken from the front property line of each lot.

**Section 4.04 Specific Development Parameters by Building Type**

Figure 35 Flexible Block Massing

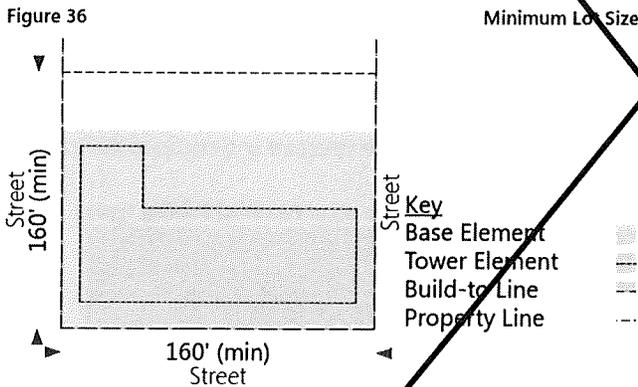
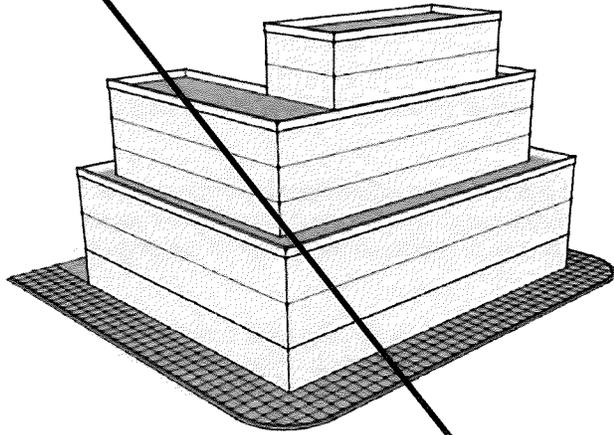


Table 35 On-Site and Off-Site Parking Options

On-Street Parking	
Parking Structure	■
Surface Parking	■
Tuck Under Parking	■
Parking Garage (Private)	□
Surface Parking Pad	□
Off-Site Parking	
Parking Structure	■
Surface Parking	■
On-Street Parking	■

**A. Flexible Block Building**

A mixed-use building type, that may accommodate some commercial uses at the ground floor and office/multi-family residential units on the floor(s) above. The building is intended to front more than two (2) street frontages and accommodate larger footprint commercial uses or structured parking within the envelope.

1. Lot Width and Depth
  - (a) All flexible block building types shall be in accordance with Sec.4.03 A in addition to the following:
  - (b) The minimum lot width to accommodate a flexible block building along the primary street frontage shall be 160 feet and the minimum lot depth shall be 160 feet.
2. Access Standards
  - (a) All flexible block buildings shall be accessed in accordance with Sec.4.03 B, in addition to the following:
  - (b) The primary entrance to each unit at the street level shall face and be entered from the highest ranking street. See Sec.2.05 for Street Hierarchy Plan.
  - (c) The primary entrance to the units on floor(s) above shall be accessed through a ground level lobby/courtyard with stairs/elevator connected to a system of corridors leading to the units.
  - (d) Each level of building shall have access to a garage (if applicable) via stairs/elevator.
3. Parking Standards
  - (a) All parking for flexible block buildings shall be in accordance with Sec.4.03 C, in addition to the following:
  - (b) On-Site parking shall be accommodated via parking structure, surface parking, tuck under parking or a combination thereof Table 35.
  - (c) Off-site parking may be accommodated via parking structure, surface parking and on-street parking or a combination thereof Table 35.
4. Services Standards
  - (a) All services for flexible block buildings shall be in accordance with Sec.4.03 D, in addition to the following:
  - (b) Services shall be located out of view of the street and shall not impact the general aesthetic of the architecture of the building.
  - (c) For buildings with street frontages on multiple sides, services should be located to the rear of the lot or screened on the lowest ranking street with an architectural wall, solid fence or landscaped hedge. See Sec.2.05 for Street Hierarchy Plan.
5. Private Open Space Standards
  - (a) All flexible block buildings shall meet the private open space standards set forth in Sec.4.03 E, in addition to the following:
  - (b) All multi-family residential, non-residential and

A. Flexible Block Building continued...

mixed-use developments, with a residential component shall provide a minimum of 15% of the site for common, private open space.

6. Landscape Standards

- (a) All flexible block buildings shall meet the landscape standards set forth in Sec.4.03 F, in addition to the following:
- (b) Within the areas designated private open space, tree requirements for the flexible block building typology shall be minimum 20 trees per acre of lot area.
  - (i) a maximum of 38% of the total tree requirement within the private open space on a lot may be met by a payment-in-lieu under the Village Landscape and Open Space Improvement Program. See Sec.1.07 B.

7. Frontage Standards

- (a) All frontage for flexible block buildings shall be in accordance with Sec.4.03 G, in addition to the following:
- (b) All flexible block buildings shall have a street level frontage type allowed by sector, according to Table 36.
- (c) For non-residential use, all habitable, semi public operating spaces at the ground level shall enter from and front the street.
  - (i). all service room, storage closets and private office space shall be located backing corridors or in the rear of the unit, away from the street.
- (d) For residential uses, only habitable building space shall be oriented towards the street, at the ground level.

8. Building Size and Massing

- (a) All flexible block buildings shall be in accordance with Sec.4.03 H, in addition to the following:
- (b) Buildings shall be composed of a base element with secondary tower element(s) of reduced footprint above the base, Figure 37.
  - (i) Each building shall meet requirements for each sector as provided in Sec.3.02 A-D
- (c) The base element shall occupy a minimum percentage of primary frontage along the street, at the build-to line, by sector, according to Table 32.
  - (i) Balconies on the facade of secondary massing element shall make up no more than 70% of elevation at that story.
- (d) Above the third story, building mass should step back 15 feet along the primary frontage and 10 feet along all other sides, where applicable.
- (e) Each building shall be composed of floors programmed with the uses identified in Figure 38.
  - (i). All ground floor units along Franjo Road shall be designed to accommodate commercial/ retail or office uses.
  - (ii) All individual commercial/retail units shall be

Table 36 Permitted Frontage Types by Buildings

Flexible Block	DV	DG	UV	NV
Arcade	●	●	●	-
Storefront	●	●	●	-
Forecourt	●	●	●	-
Stoop	○	○	○	-
Porch	○	○	○	-

**Key**  
 Permitted ●  
 Non-Permitted ○  
 N/A -

Figure 37

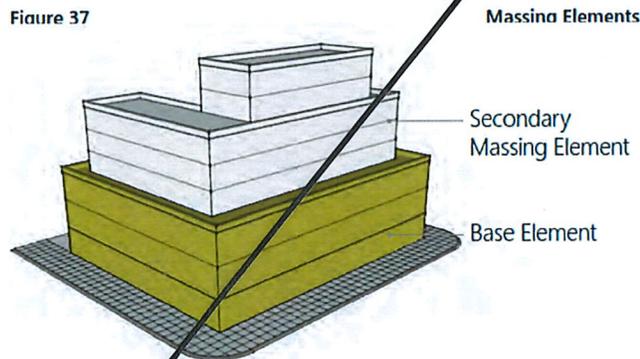
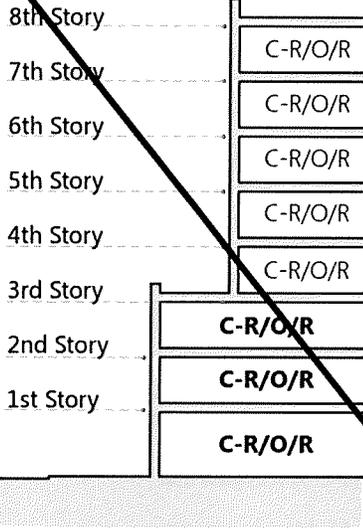


Figure 38

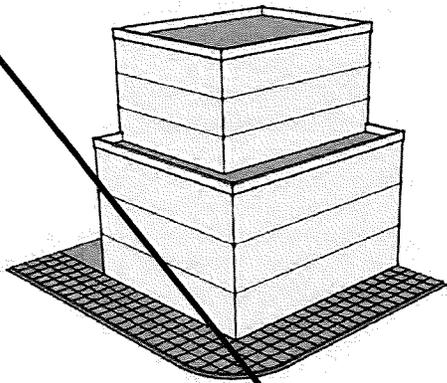


Permitted Uses by Floor

A. Flexible Block Building continued...

- limited to 12,500 sq.ft. maximum area.
- (iii) Buildings with multiple street frontages shall provide fenestration on all sides facing the street.
- (iv) A minimum of 30% of the total building facade shall be fenestrated with windows along all street frontages.
- f. Each unit within the building, regardless of use shall have outdoor exposure and access to open space.
- 9. Accessory Structures
  - (a) Accessory structures shall not be permitted.
- 10. Accessory Dwellings
  - (a) Accessory dwellings shall not be permitted.
- 11. Lighting Standards
  - (a) All flexible block buildings shall be in accordance with Sec. 2.03 K.

Figure 39

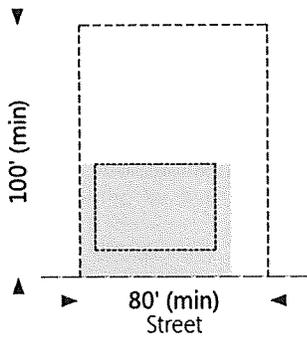


Flex Building Massing

**B. Flex Building**

A mixed-use building type that may accommodate commercial uses at the ground floor and office/multi-family residential units, of similar configuration on the floor(s) above. The building is intended to front no more than two (2) street frontages and the shallower footprint provides a versatile form for smaller lots with programmatic requirements, like service or parking in the rear.

Figure 40



Minimum Lot Size

**Key**  
 Base Element  
 Secondary Element  
 Build-to Line  
 Property Line

Table 37

On-Site and Off-Site Parking Options

On- Site Parking	
Parking Structure	■
Surface Parking	■
Tuck Under Parking	■
Parking Garage (Private)	□
Surface Parking Pad	□
Off- Site Parking	
Parking Structure	■
Surface Parking	■
On-Street Parking	■

**Key**  
 Allowed  
 Non-Allowed

1. Lot Width and Depth
  - (a) All flex building types shall be in accordance with Sec.4.03 A, in addition to the following:
  - (b) The minimum lot width to accommodate a flex building along the primary street frontage shall be 80 feet and the minimum lot depth shall be 100 feet.
2. Access Standards
  - (a) All flex buildings shall be accessed in accordance with Sec.4.03 B, in addition to the following:
  - (b) The primary entrance to each unit at the street level shall face and be entered from the highest ranking street. See Sec.2.05 for Street Hierarchy Plan.
  - (c) The primary entrance to the units on floor(s) above shall be accessed through a ground level lobby/courtyard with stairs/elevator connected to a system of corridors leading to the units.
  - (d) Each level of building shall have access to a garage (if applicable) via stairs/elevator.
3. Parking Standards
  - (a) All parking for flex buildings shall be in accordance with Sec.4.03 C, in addition to the following:
  - (b) On-Site parking shall be accommodated via parking structure, surface parking, tuck under parking or a combination thereof Table 37.
  - (c) On-site parking may be accommodated via parking structure, surface parking and on-street parking or a combination thereof Table 37.
4. Services Standards
  - (a) All services for flex buildings shall be in accordance with Sec.4.03 D, in addition to the following:
  - (b) Services shall be located out of view of the street and shall not impact the general aesthetic of the architecture of the building.
  - (c) For buildings with street frontages on multiple sides, services should be located to the rear of the lot or screened on the lowest ranking street with an architectural wall, solid fence or landscaped hedge, minimum 36 inches to 60 inches maximum. See Sec.2.05 for Street Hierarchy Plan.
5. Private Open Space Standards
  - (a) All flex buildings shall meet the private open space standards set forth in Sec.4.03 E, in addition to the following:
  - (b) All multi-family residential, non-residential and mixed-use developments, with a residential com

B. Flex Building continued...

ponent shall provide a minimum of 10% of the site for common, private open space.

6. Landscape Standards

- (a) All flex buildings shall meet the landscape standards set forth in Sec.4.03 F, in addition to the following:
- (b) Within the areas designated private open space, tree requirements for the flex building typology shall be minimum 20 trees per acre of lot area.
  - (i) a maximum of 35% of the total tree requirement within the private open space on a lot may be met by a payment-in-lieu under the Palmetto Bay Downtown Urban Village (DUV) Landscape and Open Space Program.

7. Frontage Standards

- (a) All frontage for flex buildings shall be in accordance with Sec.4.03 G, in addition to the following:
- (b) All flex buildings shall have a street level frontage type allowed by sector, according to Table 38.
- (c) For non-residential use, all habitable, semi public operating spaces at the ground level shall enter from and front the street.
  - (i) all service room, storage closets and private office space shall be located backing corridors or in the rear of the unit, away from the street.
- (d) For residential uses, only habitable building space shall be oriented towards the street, at the ground level.

8. Building Size and Massing

- (a) All flex buildings shall be in accordance with Sec.4.03 H, in addition to the following:
- (b) Buildings shall be composed of a base element with secondary massing element(s) of reduced footprint above the base.
  - (i) Each building shall meet requirements for each sector as provided in Sec.3.02 A-D.
- (c) The base element shall occupy a minimum percentage of primary frontage along the street, at the build-to line, by sector, according to Table 32.
  - (i) Balconies on the facade of secondary massing element shall make up no more than 70% of elevation at that story.
- (d) Above the third story, building mass should step back 15 feet along the primary frontage and 10 feet along all other sides, where applicable.
- (e) Each building shall be composed of floors programmed with the uses identified in Figure 42.
  - (i) All ground floor units along Franjo Road shall be designed to accommodate commercial/retail or office uses.
  - (ii) All individual commercial/retail units shall be limited to 12,500 sq.ft. maximum area.
  - (iii) Buildings with multiple street frontages shall provide fenestration on all sides facing the street.

Table 38 Permitted Frontage Types by Buildings

Flex Building	DV	DG	UV	NV
Arcade	●	●	●	○
Storefront	●	●	●	●
Forecourt	●	●	●	●
Stoop	○	○	●	●
Porch	○	○	○	○

Key  
 Permitted ●  
 Non-Permitted ○  
 N/A -

Figure 41

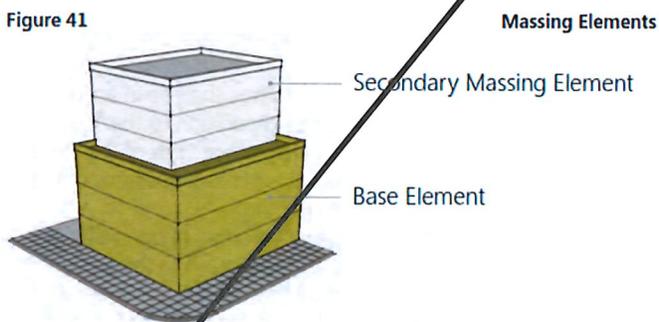
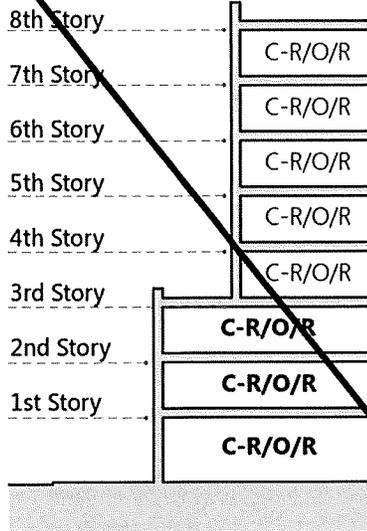


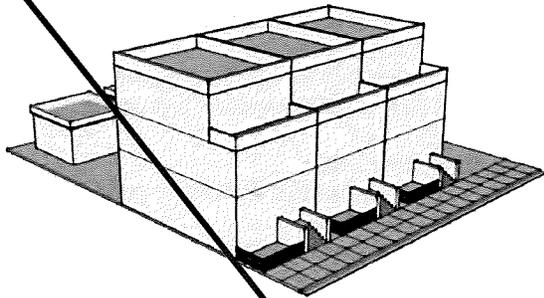
Figure 42



Permitted Uses by Floor B. Flex Building continued...

- (iv) A minimum of 30% of the total building facade shall be fenestrated with windows along all street frontages.
- f. Each unit within the building, regardless of use shall have outdoor exposure and access to open space.
- 9. Accessory Structures
  - (a) Accessory structures shall not be permitted.
- 10. Accessory Dwellings
  - (a) Accessory dwellings shall not be permitted.
- 11. Lighting Standards
  - (a) All flex buildings shall be in accordance with Sec.4.03 K.

Figure 43



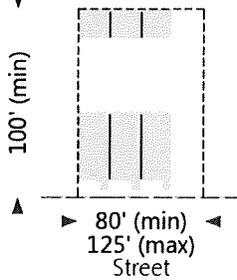
Rowhouse Massing

**C. Rowhouse Building**

A residential building type that shares a party wall with the structure next to it. Each individual structure is occupied by one residence, on all floors, in an array of at least three (3) structures, side by side along the primary street frontage.

1. Lot Width and Depth
  - (a) All rowhouse building types shall be in accordance with Sec.4.03 A, in addition to the following:
  - (b) The minimum lot width to accommodate 3 rowhouse units side by side along the primary street frontage shall be 80 feet and the maximum lot width shall be 125 feet. The lot depth shall be 100 feet minimum.
2. Access Standards
  - (a) All rowhouse buildings shall be accessed in accordance with Sec.4.03 B, in addition to the following:
  - (b) The primary entrance to each, individual rowhouse unit shall face and be entered from the highest ranking street. See Sec.2.05 for Street Hierarchy Plan.
3. Parking Standards
  - (a) All parking for rowhouse buildings shall be in accordance with Sec.4.03 C, in addition to the following:
  - (b) On-Site parking shall be accommodated via surface parking, tuck under parking, private parking garage or a combination thereof Table 39.
  - (c) Off-site parking may be accommodated via surface parking, on-street parking or a combination thereof Table 39.
4. Services Standards
  - (a) All services for rowhouse buildings shall be in accordance with Sec.4.03 D, in addition to the following:
  - (b) Services shall be located out of view of the street and shall not impact the general aesthetic of the architecture of the building.
  - (c) For buildings with street frontages on multiple sides, services should be located to the rear of the lot or screened on the lowest ranking street with an architectural wall, solid fence or landscaped hedge. See Sec.2.05 for Street Hierarchy Plan.
5. Private Open Space Standards
  - (a) All rowhouse buildings shall be meet the private open space standards set forth in Sec.4.03 E, in addition to the following:
  - (b) All residential, rowhouse development shall provide a minimum of 400 sq. ft. of private open space, per unit.
6. Landscape Standards
  - (a) All rowhouse buildings shall meet the landscape standards set forth in Sec.4.03 F, in addition to the following:
  - (b) Within the areas designated private open space, tree requirements for the rowhouse building

Figure 44



Minimum Lot Size



Table 39

On-Site and Off-Site Parking Options

On- Site Parking		Key	Allowed	Non-Allowed
Parking Structure	<input type="checkbox"/>			
Surface Parking	<input checked="" type="checkbox"/>			
Tuck Under Parking	<input checked="" type="checkbox"/>			
Parking Garage (Private)	<input checked="" type="checkbox"/>			
Surface Parking Pad	<input type="checkbox"/>			
Off- Site Parking				
Parking Structure	<input type="checkbox"/>			
Surface Parking	<input checked="" type="checkbox"/>			
On-Street Parking	<input checked="" type="checkbox"/>			

C. Rowhouse Building continued...

typology shall be minimum 20 trees per acre of lot area.

- (i) a maximum of 35% of the total tree requirement within the private open space on a lot may be met by a payment-in-lieu under the Palmetto Bay Downtown Urban Village (DUV) Landscape and Open Space Program.

7. Frontage Standards

- (a) All frontage for rowhouse buildings shall be in accordance with Sec.4.03 G, in addition to the following:
- (b) All rowhouse buildings shall have a street level frontage type allowed by sector, according to Table 41
- (c) For non-residential use, all habitable, semi public operating spaces at the ground level shall enter from and front the street.
  - (i) all service room, storage closets and private office space shall be located backing corridors or in the rear of the unit, away from the street.
- (d) For residential uses, only habitable, building space shall be oriented towards the street, at the ground level.

8. Building Size and Massing

- (a) All rowhouse buildings shall be in accordance with Sec.4.03 H, in addition to the following:
- (b) Buildings shall be composed of a two (2) or three (3) story massing element(s) that meets the requirements for each sector as provided in Sec.3.02 A-D
- (c) The minimum unit frontage shall be 20 feet.
- (d) The building, no less than three (3) rowhouse units, shall occupy a minimum percentage of primary frontage along the street, at the build-to line, by sector, according to Table 32.
- (e) Between the second and third story, buildings shall provide unique architectural detailing/fenestration that unifies all buildings, horizontally, on a lot by lot basis, regardless of building type, at the street elevation.
- f. Each building shall be composed of floors programmed with the uses identified in Figure 45.
  - (i) All individual commercial/retail units shall be limited to 12,500 sq.ft. maximum area.
  - (ii) Buildings with multiple street frontages shall provide fenestration on all street fronting sides.
  - (iii) A minimum of 30% of the total building facade shall be fenestrated with windows along all street frontages.
- g. For three (3) story rowhouse units only, ground floor may be a separate flat unit type, accessed separately from the primary frontage, with a townhouse dwelling on the second and third floor, accessed by separate stair and front door.

Table 40

Permitted Frontage Types by Buildings

Rowhouse	LV	DG	UV	NV
Arcade	-	-	○	○
Storefront	-	-	●	●
Forecourt	-	-	○	○
Stoop	-	-	●	●
Porch	-	-	○	○

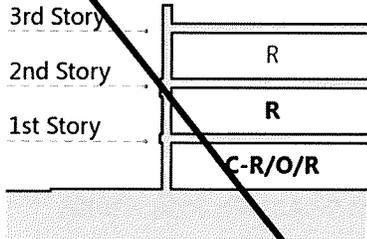
Key

Permitted ●

Non-Permitted ○

N/A -

Figure 45



Permitted Uses by Floor

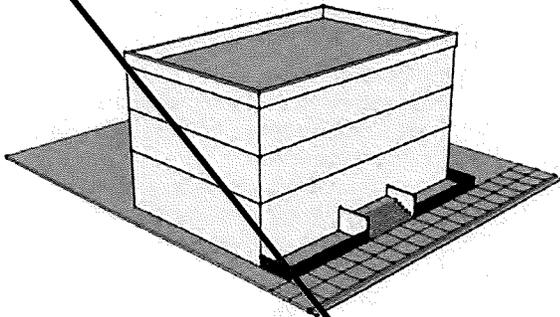
- Key**  
Commercial-Retail C-R  
Office O  
Residential R  
**Minimum Stories**  
Optional Stories

C. Rowhouse Building continued...

- (h) Each unit within the building group, regardless of use shall have outdoor exposure and access to open space.
- 9. Accessory Structures
  - (a) Accessory structures shall be permitted in accordance with Sec.4.03 I.
- 10. Accessory Dwellings
  - (a) Accessory dwellings shall be permitted in accordance with Sec.4.03 J.
- 11. Lighting Standards
  - (a) All rowhouse buildings shall be in accordance with Sec.4.03 K.

Figure 46

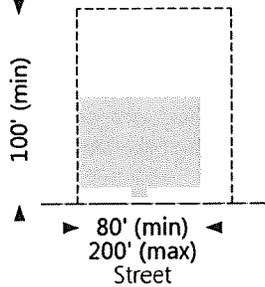
Stacked Apartment Massing



**D. Stacked Apartment Building**

A multi-family residential building type with similar residential units throughout all floors of the building. Floor plans are intended to accommodate a variety of unit types.

Figure 47



Minimum Lot Size

Key  
 Building  
 Build-to Line  
 Property Line

Table 41

On-Site and Off-Site Parking Options

On- Site Parking		Key	Allowed	Non-Allowed
Parking Structure	<input type="checkbox"/>			
Surface Parking	<input type="checkbox"/>			
Tuck Under Parking	<input type="checkbox"/>			
Parking Garage (Private)	<input type="checkbox"/>			
Surface Parking Pad	<input type="checkbox"/>			
Off- Site Parking				
Parking Structure	<input type="checkbox"/>			
Surface Parking	<input type="checkbox"/>			
On-Street Parking	<input type="checkbox"/>			

1. Lot Width and Depth
  - (a) All stacked apartment building types shall be in accordance with Sec.4.03 A, in addition to the following:
  - (b) The minimum lot width to accommodate a stacked apartment building along the primary street frontage shall be 80 feet and the maximum lot width shall be 200 feet. The lot depth shall be 100 feet minimum.
2. Access Standards
  - (a) All stacked apartment buildings shall be accessed in accordance with Sec.4.03 B, in addition to the following:
  - (b) Street level residences may be accessed directly from the street, with secondary access to those units from the primary entrance to the upper floors.
  - (c) The primary entrance to the stacked apartments building shall face and be entered from the highest ranking street. See Sec.2.05 for Street Hierarchy Plan.
  - (d) Residences shall be accessed through a ground level lobby/courtyard connected to a system of corridors leading to the units.
  - (e) Each level of building shall have access to a garage (if applicable) via stairs/elevator.
3. Parking Standards
  - (a) All parking for stacked apartment buildings shall be in accordance with Sec.4.03 C, in addition to the following:
  - (b) On-Site parking shall be accommodated via surface parking, tuck under parking or a combination thereof Table 41.
  - (c) Off-site parking may be accommodated via surface parking, on-street parking or a combination thereof Table 41.
4. Services Standards
  - (a) All services for stacked apartment buildings shall be in accordance with Sec.4.03 D, in addition to the following:
  - (b) Services shall be located out of view of the street and shall not impact the general aesthetic of the architecture of the building.
  - (c) For buildings with street frontages on multiple sides, services should be located to the rear of the lot or screened on the lowest ranking street with an architectural wall, solid fence or landscaped hedge. See Sec.2.05 for Street Hierarchy Plan.
5. Private Open Space Standards
  - (a) All stacked apartment buildings shall meet the private open space standards set forth in Sec.4.03

D. Stacked Apartment Building continued...

E, in addition to the following:

- (b) All multi-family residential shall provide a minimum of 10% of the site for common, private open space.

6. Landscape Standards

- (a) All stacked apartment buildings shall meet the landscape standards set forth in Sec.4.03 F, in addition to the following:
- (b) Within the areas designated private open space, tree requirements for the stacked apartment building typology shall be minimum 20 trees per acre of lot area.
  - (i) a maximum of 35% of the total tree requirement within the private open space on a lot may be met by a payment-in-lieu under the Palmetto Bay Downtown Urban Village (DUV) Landscape and Open Space Program.

7. Frontage Standards

- (a) All frontage for stacked apartment buildings shall be in accordance with Sec.4.03 G, in addition to the following:
- (b) All stacked apartment buildings shall have a street level frontage type allowed by sector, according to Table 42.
- (c) In the stacked apartment building, only habitable, building space shall be oriented towards the street, at the ground level.
  - (i) More private rooms, such as service, sleeping or bathrooms shall be oriented away from the street frontage.

8. Building Size and Massing

- (a) All stacked apartment buildings shall be in accordance with Sec.4.03 H, in addition to the following:
- (b) Buildings may be composed of a primary volume with secondary massing element(s) of reduced volume attached to it.
  - (i) Each building shall meet requirements for each sector as provided in Sec.3.02 A-D
- (c) The building shall occupy a minimum percentage of primary frontage along the street, at the build-to line, by sector, according to Table 32.
- (d) Between the second and third story, buildings shall provide unique architectural detailing/fenestration that unifies all buildings, horizontally, on a lot by lot basis, regardless of building type, at the street elevation.
- (e) Each building shall be composed of floors programmed with the uses identified in Figure 48.
  - (i) Buildings with multiple street frontages shall provide fenestration on all street fronting sides.
  - (ii) A minimum of 30% of the total building facade must be fenestrated with windows along all street frontages.
- f. Each unit within the building group, regardless of

Table 42

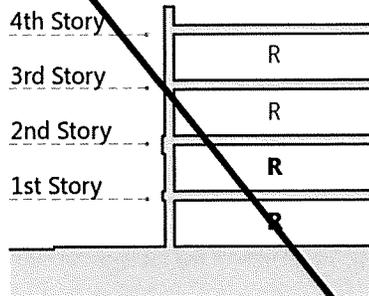
Permitted Frontage Types by Buildings

Stacked Apartment	DV	DG	UV	NV
Arcade	-	-	○	○
Storefront	-	-	○	○
Forecourt	-	-	○	○
Stoop	-	-	●	●
Porch	-	-	○	●

Key

- Permitted ●
- Non-Permitted ○
- N/A -

Figure 48



Permitted Uses by Floor D. Stacked Apartment Building continued...

**Key**

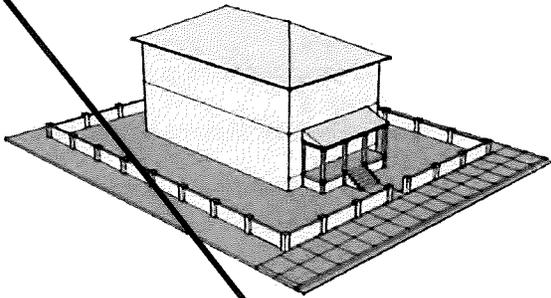
Commercial-Retail	C-R
Office	O
Residential	R
<b>Minimum Stories</b>	
Optional Stories	

use shall have outdoor exposure and access to open space.

- 9. Accessory Structures
  - (a) Accessory structures shall not be permitted.
- 10. Accessory Dwellings
  - (a) Accessory dwellings shall not be permitted.
- 11. Lighting Standards
  - (a) All stacked apartment buildings shall be in accordance with Sec.4.03 K.

Figure 49

Single Family House Massing

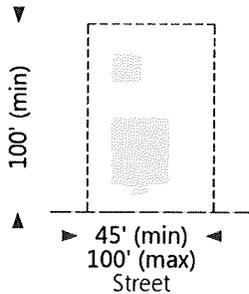


**E. Single Family House Building**

A residential building type that accommodates one primary residence on all floor(s) of the structure and occupies the totality of the site in and of itself.

1. Lot Width and Depth
  - (a) All single family house building types shall be in accordance with Sec.4.03 A, in addition to the following:
  - (b) The minimum lot width to accommodate a single family house unit along the primary street frontage shall be 45 feet and the maximum lot width shall be 100 feet. The depth of the lot shall be 100 feet minimum.
2. Access Standards
  - (a) All single family houses shall be accessed in accordance with Sec.4.03 B, in addition to the following:
  - (b) The primary entrance to the single family house shall face and be entered from the highest ranking street. See Sec.2.05 for Street Hierarchy Plan.
3. Parking Standards
  - (a) All parking for single family house buildings shall be in accordance with Sec.4.03 C, in addition to the following:
  - (b) On-Site parking shall be accommodated via tuck under parking, private parking garage or surface parking pad Table 43.
  - (c) Off-site parking may be accommodated via on-street parking Table 43.
  - (d) Private garage may be attached or detached to the residence and shall not face onto the primary street frontage.
4. Services Standards
  - (a) All services for single family house buildings shall be in accordance with Sec.4.03 D, in addition to the following:
  - (b) For buildings with frontages on multiple sides, services should be located to the rear of the lot or screened on the lowest ranking street. See Sec.2.05 for Street Hierarchy Plan.
  - (c) Services shall be located at least 10' behind the front of the facade and screened from the street with a solid fence or landscape hedge.
5. Private Open Space Standards
  - (a) All single family house buildings shall meet the private open space standards set forth in Sec.4.03 E, in addition to the following:
  - (b) All single-family residential shall provide a minimum of 10% of the lot for private open space.
6. Landscape Standards
  - (a) All single family house buildings shall meet the landscape standards set forth in Sec.4.03 F, in addition to the following:
  - (b) Within the areas designated private open space, tree requirements for the single family house building typology shall be minimum 20 trees per

Figure 50



Minimum Lot Size

**Key**  
 Building  
 Build-to Line  
 Property Line

Table 43

On-Site and Off-Site Parking Options

On- Site Parking		Key	Allowed	Non-Allowed
Parking Structure	<input type="checkbox"/>			
Surface Parking	<input type="checkbox"/>			
Tuck Under Parking	<input type="checkbox"/>			
Parking Garage (Private)	<input type="checkbox"/>			
Surface Parking Pad	<input type="checkbox"/>			
Off- Site Parking				
Parking Structure	<input type="checkbox"/>			
Surface Parking	<input type="checkbox"/>			
On-Street Parking	<input type="checkbox"/>			

Table 44

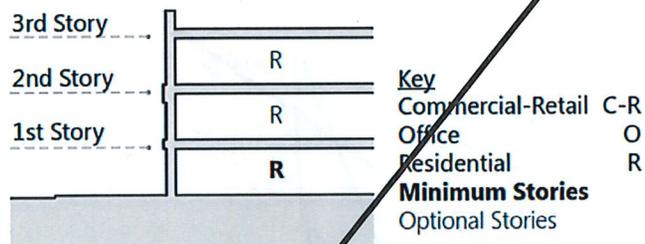
Permitted Frontage Types by Buildings

Single Family House	DV	DG	UV	NV
Arcade	-	-	○	○
Storefront	-	-	○	○
Forecourt	-	-	○	○
Stoop	-	-	●	●
Porch	-	-	○	●

**Key**  
 Permitted  
 Non-Permitted  
 N/A

Figure 51

Permitted Uses by Floor



E. Single Family House Building continued...

acre of lot area.

(i) a maximum of 35% of the total tree requirement within the private open space on a lot may be met by a payment-in-lieu under the Palmetto Bay Downtown Urban Village (DUV) Landscape and Open Space Program.

7. Frontage Standards

(a) All frontage for single family house buildings shall be in accordance with Sec.4.03 G, in addition to the following:

(b) All single family house buildings shall have a street level frontage type allowed by sector, according to Table 44.

(c) In the single family house building, only habitable, building space shall be oriented towards the street, at the ground level.

(i) More private rooms, such as service, sleeping or bathrooms shall be oriented away from the street frontage or on the floors above.

8. Building Size and Massing

(a) All single family house buildings shall be in accordance with Sec.4.03 H, in addition to the following:

(b) Buildings shall be composed of one (1) and/or two (2) story volume.

(i) Each building shall meet requirements for each sector as provided in Sec.3.02 A-D

(c) The building shall occupy a minimum percentage of primary frontage along the street, at the build-to line, by sector, according to Table 32.

(d) Each building shall be composed of floors programmed with the uses identified in Figure 51.

(i) Buildings with multiple street frontages shall provide fenestration on all street fronting sides.

(ii) A minimum of 30% of the total building facade must be fenestrated with windows along all street frontages.

9. Accessory Structures

(a) Accessory structures shall be permitted in accordance with Sec.4.03 I.

10. Accessory Dwellings

(a) Accessory dwellings shall be permitted in accordance with Sec.4.03 J.

11. Lighting Standards

(a) All single family house buildings shall be in accordance with Sec.4.03 K.

## 30-50.23.5 STREET CONNECTIVITY STANDARDS

### Section 5.01 Purpose

This section identifies thoroughfare the standards, by which all streets both for building new streets (see Sec. 4.04.M) and for streetscape improvements on existing streets. While developing and redeveloping property in the DV, DG, and UV sectors, the specified sidewalk, on-street parking, and landscape area improvements for all street frontages of development sites must be constructed at the developer's expense concurrently with the development; see Secs. 4.04.N and 4.04.O for details. shall be met with regards to the dedication, construction and/or redevelopment by both the Village of Palmetto Bay and its individual property owners, in addition to any other public entities/stakeholders.

These thoroughfare standards All construction of new and redevelopment of existing right-of-ways shall be the responsibility of the individual property owners and are intended to support the Village of Palmetto Bay's future vision for a highly connected, multi-modal, ped/bike-friendly, network of streets within the Downtown zoning district, Urban Village (DUV). Property owners shall be responsible for the portion of the right-of-way on all sides of development, considered street frontage.

The intention of this section is to provide the tools necessary for property owners and potential developers to determine the type of street and the elements within the right of way necessary to achieve the Village of Palmetto Bay's vision for the Downtown Urban Village (DUV). The size, location and treatment of the elements that compose the right of way shall

determine the relevant build-to line, in which property owners and developers shall base plans for their parcels and apply all parameters of development.

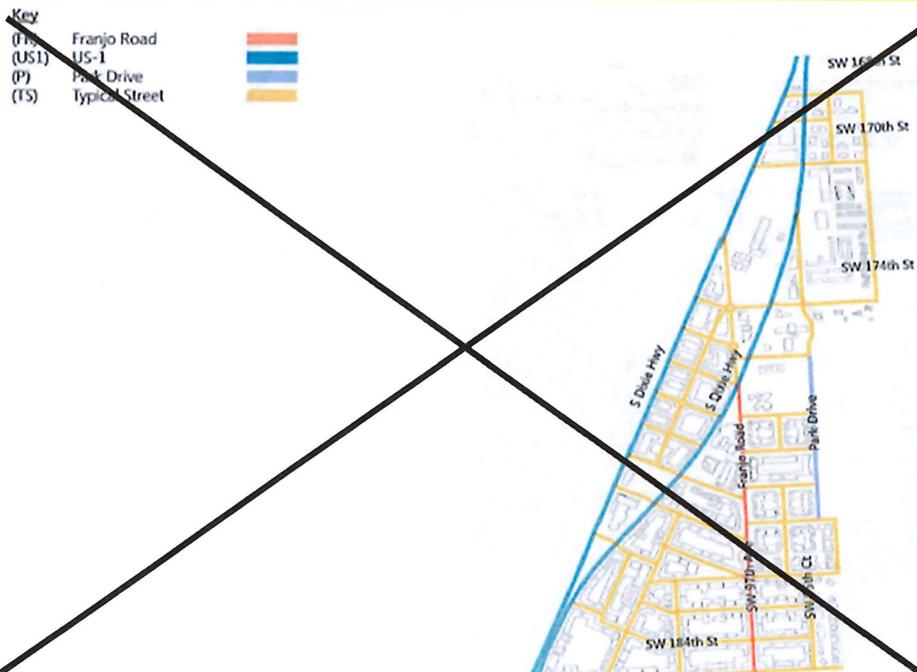
Figure 5 in Sec. 2.05 defines which street type has been assigned to each existing and proposed street in the Downtown.

Section 5 describes each of the six street types shown on Figure 5, plus an alley type which may be required by Secs. 2.03 and 4.04.M. Table 45 summarizes these types.

**Table 45 Summary of Street Types**

Street Types	Section	Typical ROW Width	Notes
<b>Franjo Road (FR)</b>	5.02	70'	
<b>US-1 (US1)</b>	5.03.A	100'	(northbound)
"	5.03.B	66'	(southbound)
<b>Park Drive (PD)</b>	5.04	55'	
<b>Primary (P)</b>	5.05	50'	
<b>Neighborhood (N)</b>	5.06.A	60'	(includes new streets)
"	5.06.B	50'	(for existing 50' ROW)
<b>Secondary (S)</b>	5.07	50'	
<b>Alley (A)</b>	5.08	24'	

**Figure 62 Street Type Plan**



**Section 5.02 A Franjo Road (FR)**

Figure 63

Thoroughfare Standards

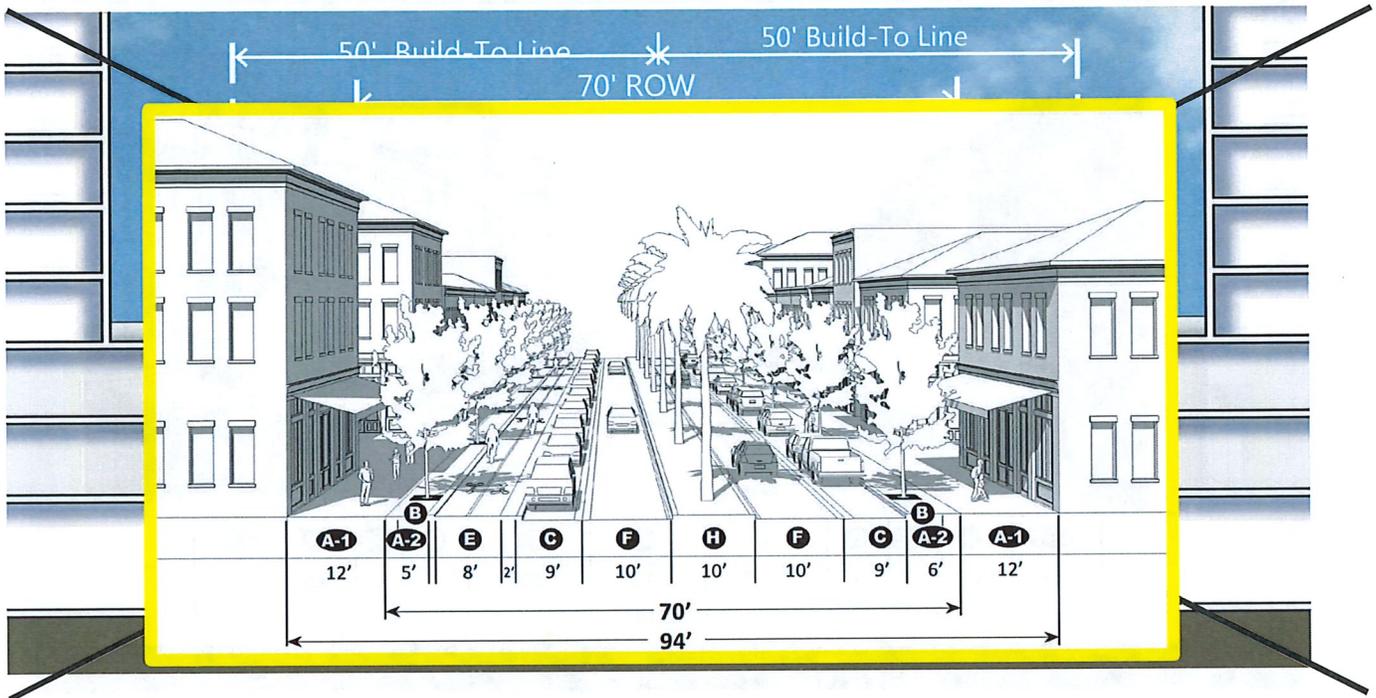


Table 46 45 Elements of the ROW

Street Type	Sectors			
	DV	UV	UV	NV
FR — Franjo Road	■	■	■	■

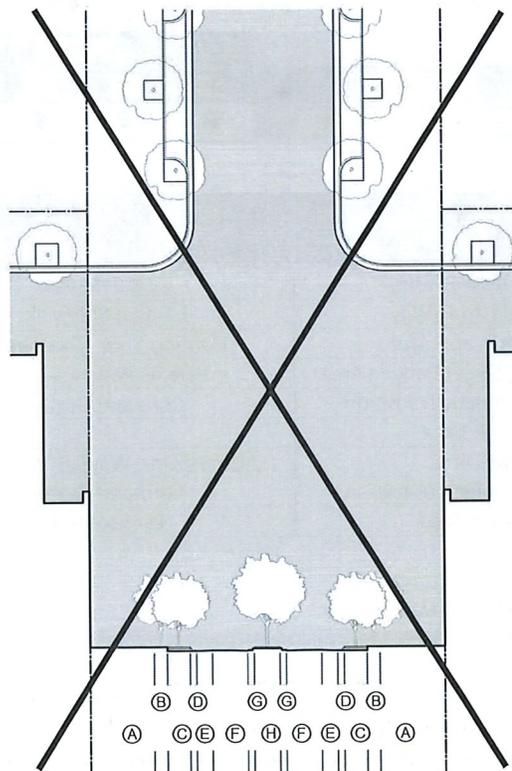
ROW Elements	Type
Ⓐ① Pedestrian Way	Sidewalk in easement
Ⓐ② Pedestrian Way	Sidewalk in R-O-W
Ⓑ Landscape Area	Trees (Integrated) Grates in Sidewalk
Ⓒ On-Street Parking Area	Parallel Parking
Ⓓ Pavement Transition	Curb and Gutter
Ⓔ Bicycle Lane	One-Way (Striped)
Ⓕ Travel Lane	2 Lanes, Two One-Way (Vehicular)
Ⓖ Pavement Transition	Curb and Gutter
Ⓗ Median Area	Landscaped (with Left Turn)

**Key**

- Allowed — ■
- Non-Allowed — □
- N/A — ▨

1. For properties on the west side of Franjo Road, see special requirements for determining the build-to zone (Sec. 4.04.A) and for mandatory dedication of right-of-way (Sec. 4.04.O).
2. For properties on both sides of Franjo Road, see special requirements for dedication of sidewalk easements (Sec. 4.04.O).
1. At a minimum, there shall be provided a minimum ROW of 70', 35' from the centerline of the road at all times.
2. All ground floor uses along Franjo Road shall be of commercial/retail uses in accordance with Sec. 2.07.

Figure 64 Elements of the ROW



**Section 5.03.A B US-1 (US1 Northbound)**

Figure 64 65

Thoroughfare Standards

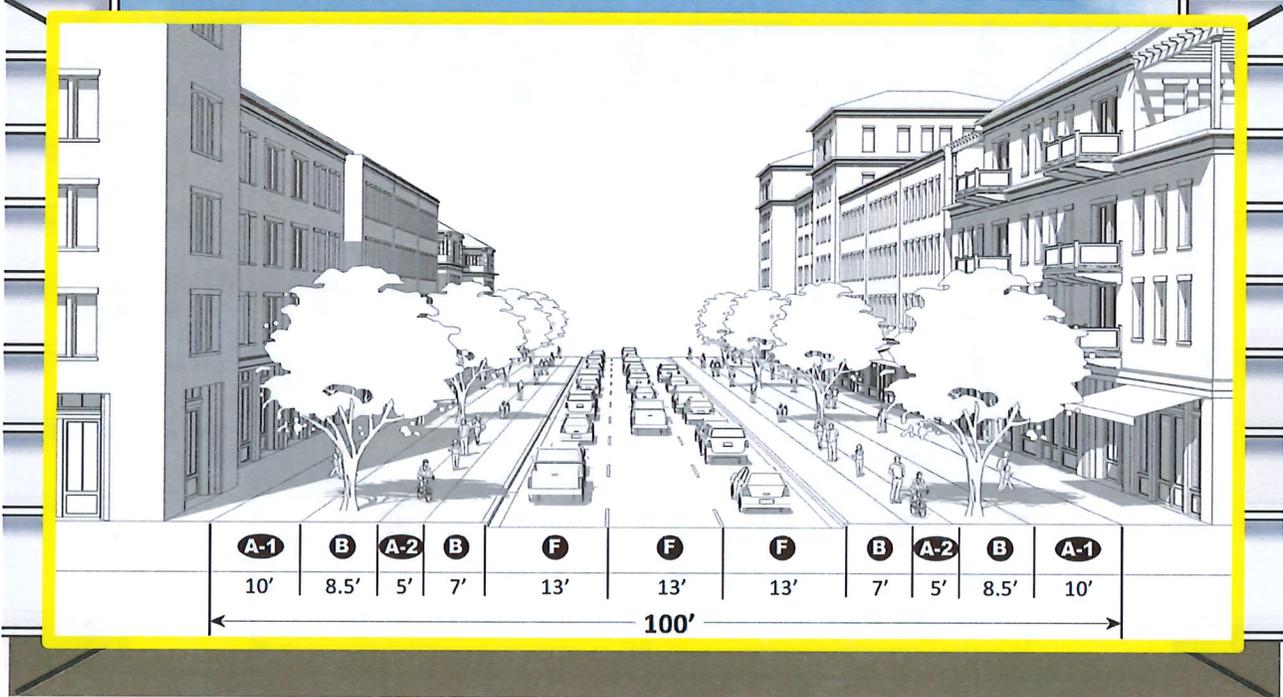


Table 47 46

Elements of the ROW

Street Type	Sectors			
	DV	DU	UV	NV
US-1	■	■	■	■

ROW Elements	Type
Ⓐ ① Pedestrian Way	New Sidewalk
Ⓐ ② Pedestrian Way	Existing Sidewalk
Ⓑ Landscape Area	Planting Strip Tree-Grate
Ⓒ On-Street Parking Area	Parallel Parking (1-Side)
Ⓓ Pavement Transition	Curb and Gutter
Ⓔ Bicycle Lane	-
Ⓕ Travel Lane	3 Lanes, One-Way NB (Vehicular)
Ⓖ Pavement Transition	Curb and Gutter
Ⓗ Median Area	Landscaped

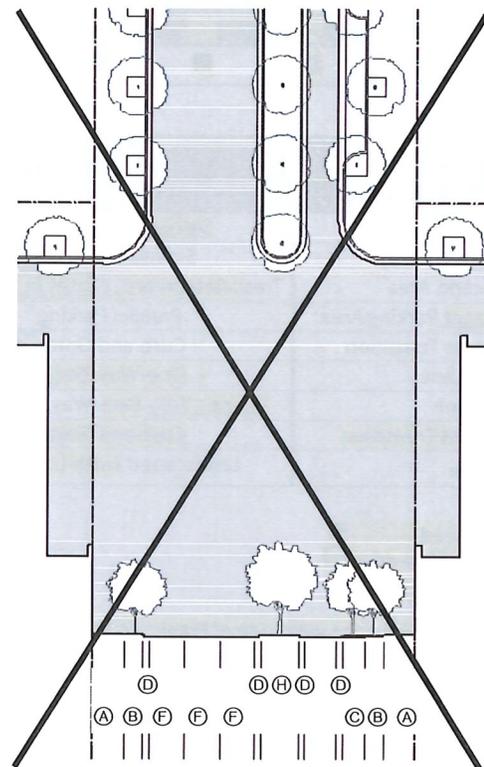
**Key**

- Allowed
- Non-Allowed
- N/A

1. For southbound lanes of US-1, where ROW is less than 100', setback and build to line shall be 16'.
2. Slip lanes shall not be required for Southbound lanes of US-1.

Figure 66

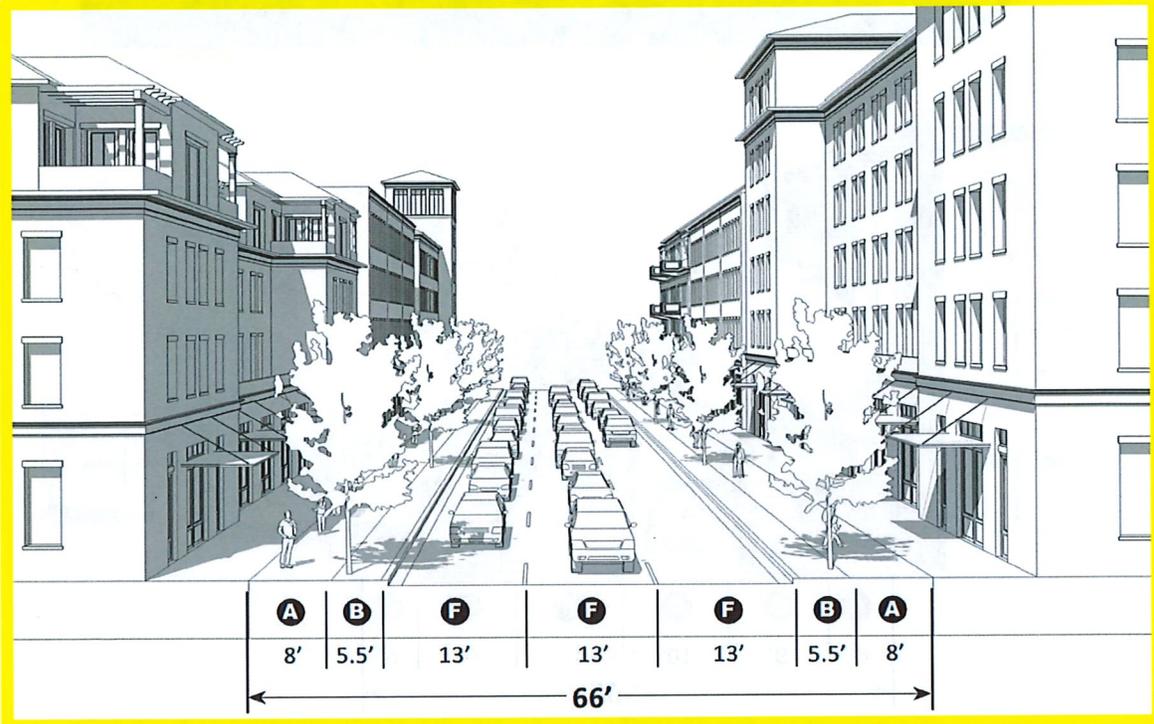
Elements of the ROW



**Section 5.03.B US-1 (US1 Southbound)**

**Figure 65**

**Thoroughfare Standards**



**Table 48 Elements of the ROW**

<b>ROW Elements</b>	<b>Type</b>
Ⓐ Pedestrian Way	Sidewalk
Ⓑ Landscape Area	Planting Strip
Ⓒ On-Street Parking Area	⋮
Ⓓ Pavement Transition	Curb and Gutter
Ⓔ Bicycle Lane	⋮
Ⓕ Travel Lane	3 Lanes, One-Way SB (Vehicular)

**Section 5.04 C. Park Drive (PD)**

Figure 66 67

Thoroughfare Standards

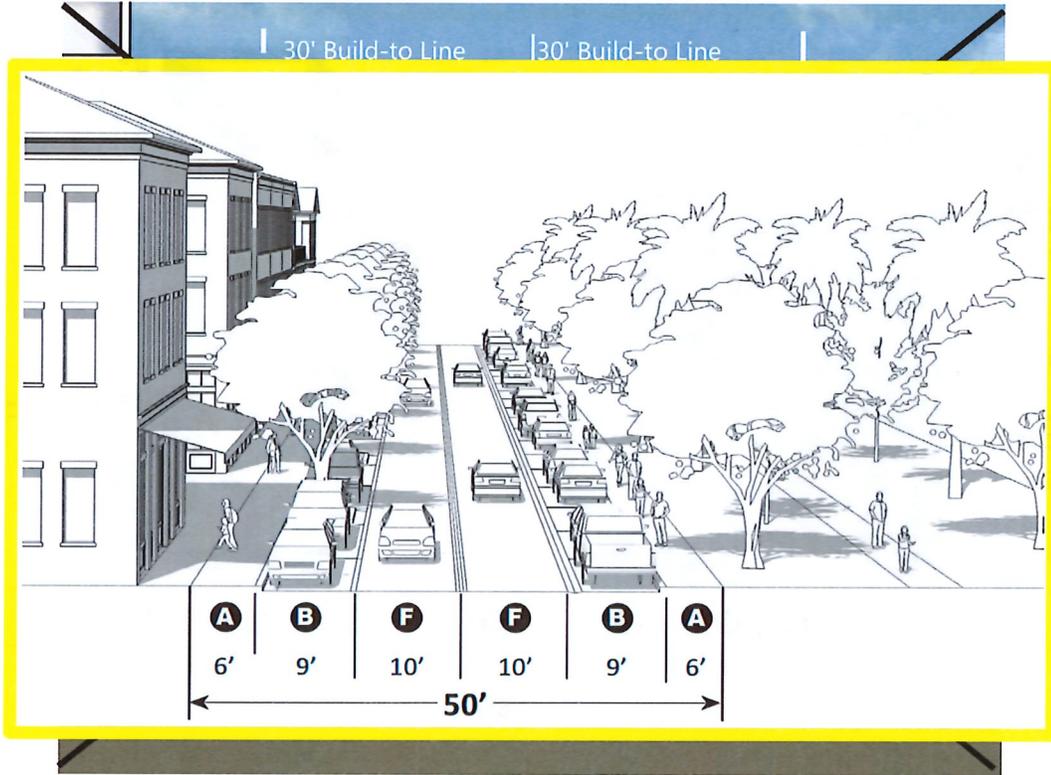


Table 49 47

Elements of the ROW

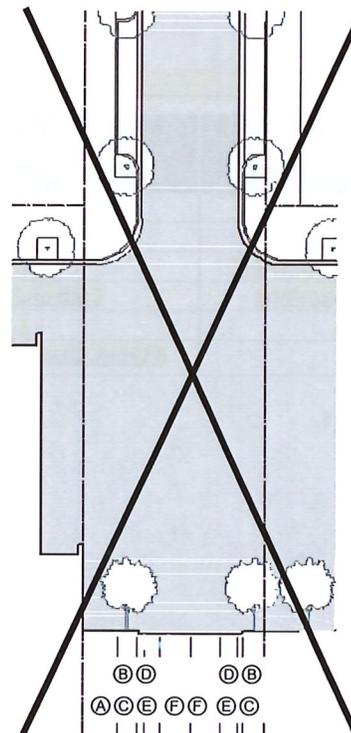
Street Type	Sectors			
	DUV	DC	UV	NV
Park Drive	■	■	■	■

ROW Elements	Type
Ⓐ Pedestrian Way	Sidewalk
Ⓑ Landscape Area	Trees (Integrated)
Ⓒ On-Street Parking Area	Parallel Parking (west side only)
Ⓓ Pavement Transition	Curb and Gutter
Ⓔ Bicycle Lane	One-Way (Striped)
Ⓕ Travel Lane	2 Lanes, Two One-Way (Vehicular)
Ⓖ Pavement Transition	■
Ⓗ Median Area	■

**Key**

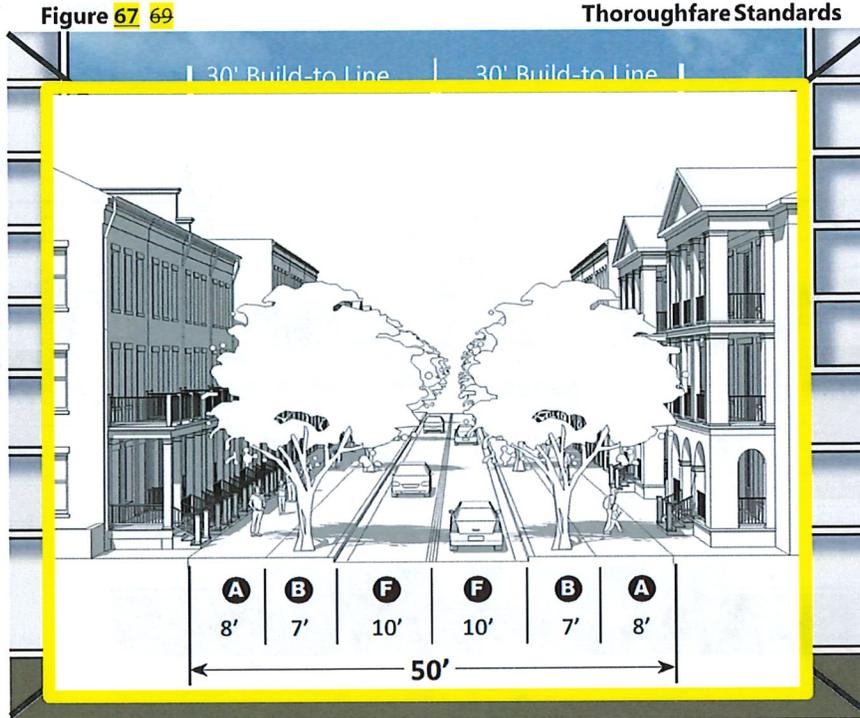
- Allowed ■
- Non-Allowed □
- N/A ■

Figure 68 Elements of the ROW



**Section 5.05 Primary (P)**

**D. Typical Street: Urban 1 (TS-U1)**



**Table 50 48**

**Elements of the ROW**

Street Type	Urban 1	Sectors			
		DV	UV	UV	NV
TS-U1	Urban 1	■	■	■	■

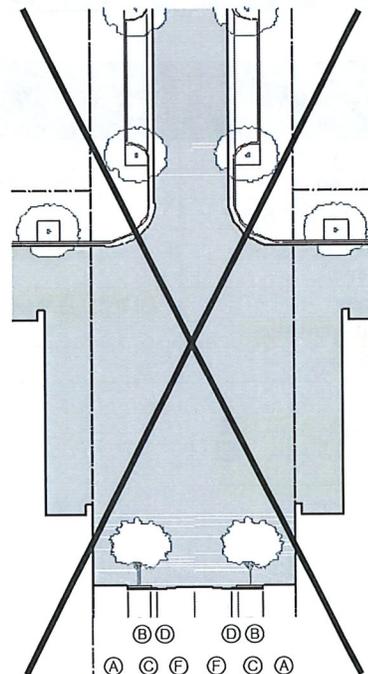
ROW Elements	Type
Ⓐ Pedestrian Way	Sidewalk
Ⓑ Landscape Area	Planting Strip Tree-Grate
Ⓒ On-Street Parking Area	Parallel Parking
Ⓓ Pavement Transition	Curb and Gutter
Ⓔ Bicycle Lane	-
Ⓕ Travel Lane	2 Lanes, Two One-Way (Vehicular)
Ⓖ Pavement Transition	■
Ⓗ Median Area	■

**Key**

- Allowed
- Non-Allowed
- N/A

1. For properties that front on 'Primary' streets where the existing right-of-way is only 40 feet wide, see special requirements for determining the build-to zone (Sec. 4.04.A) and for mandatory dedication of sidewalk easements (Sec. 4.04.N).
2. The Village intends to construct SW 178<sup>th</sup>, SW 179<sup>th</sup>, and SW 180<sup>th</sup> Streets between Franjo Road and Park Drive with additional facilities not shown in Figure 67.

**Figure 70** **Elements of the ROW**



**Section 5.06.A Neighborhood (N) (60' Right-of-Way)**

**E. Typical Street: Neighborhood 1 (TS-N1)**

Figure 68 71

Thoroughfare Standards

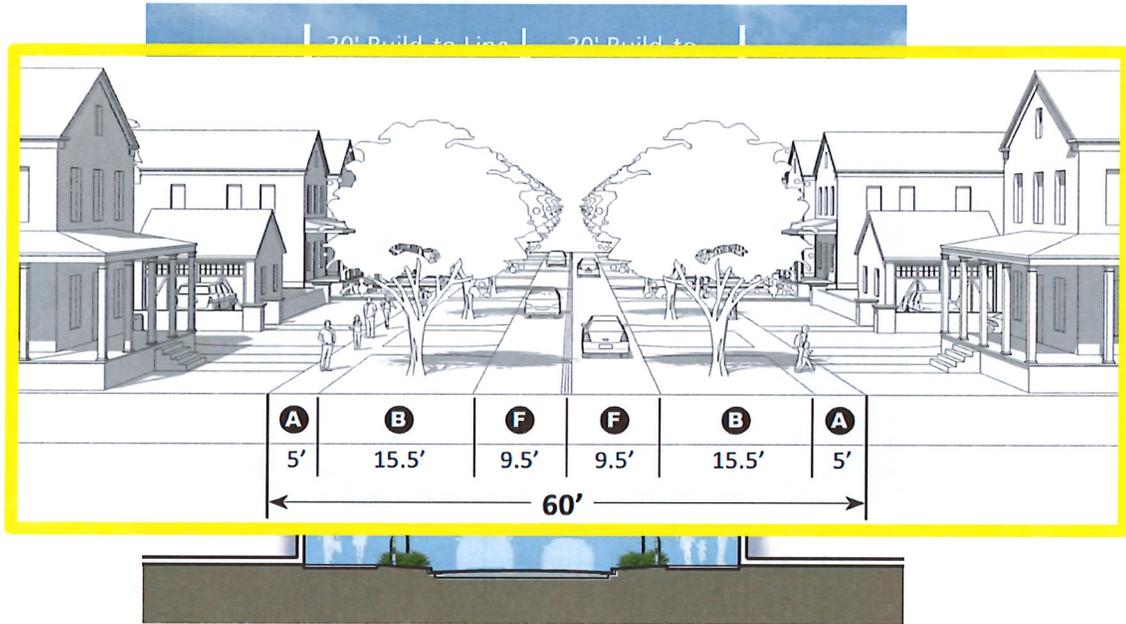


Table 51 49

Elements of the ROW

		Sectors			
Street Type		DV	DU	UV	NV
TS-N1	Neighborhood 1	■	■	■	■

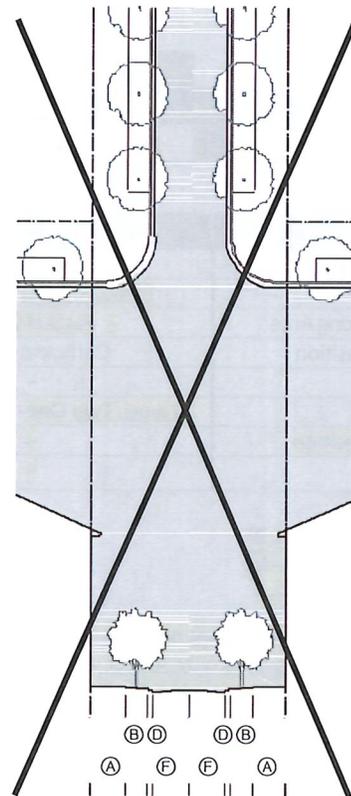
ROW Elements	Type
Ⓐ Pedestrian Way	Sidewalk
Ⓑ Landscape Area	Planting Strip
Ⓒ On-Street Parking Area	-
Ⓓ Pavement Transition	▬ Curb and Gutter
Ⓔ Bicycle Lane	-
Ⓕ Travel Lane	2 Lanes, Two One-Way (Vehicular)
Ⓖ Pavement Transition	▬
Ⓗ Median Area	▬

**Key**

- Allowed
- Non-Allowed
- N/A

Figure 72

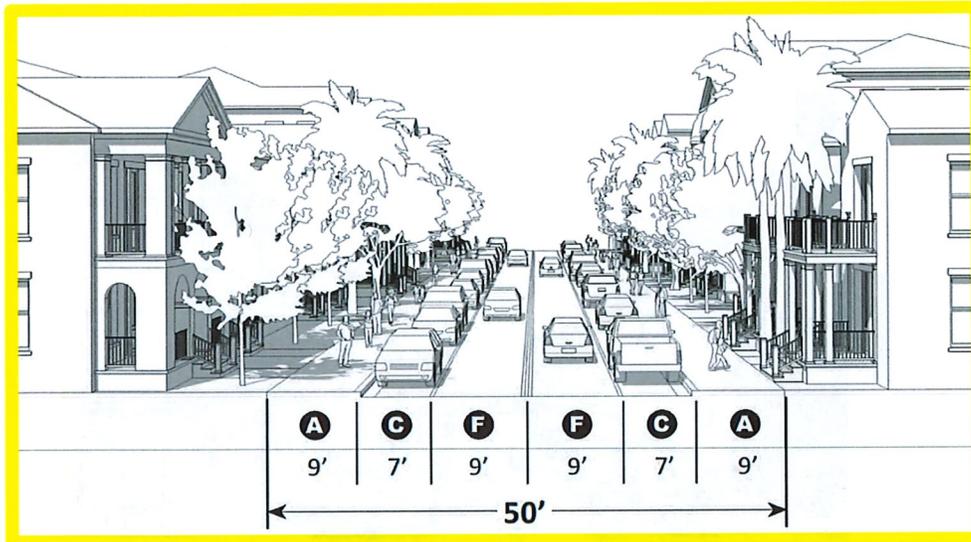
Elements of the ROW



**Section 5.06.B Neighborhood (N) (50' Right-of-Way)**

**Figure 69**

**Thoroughfare Standards**



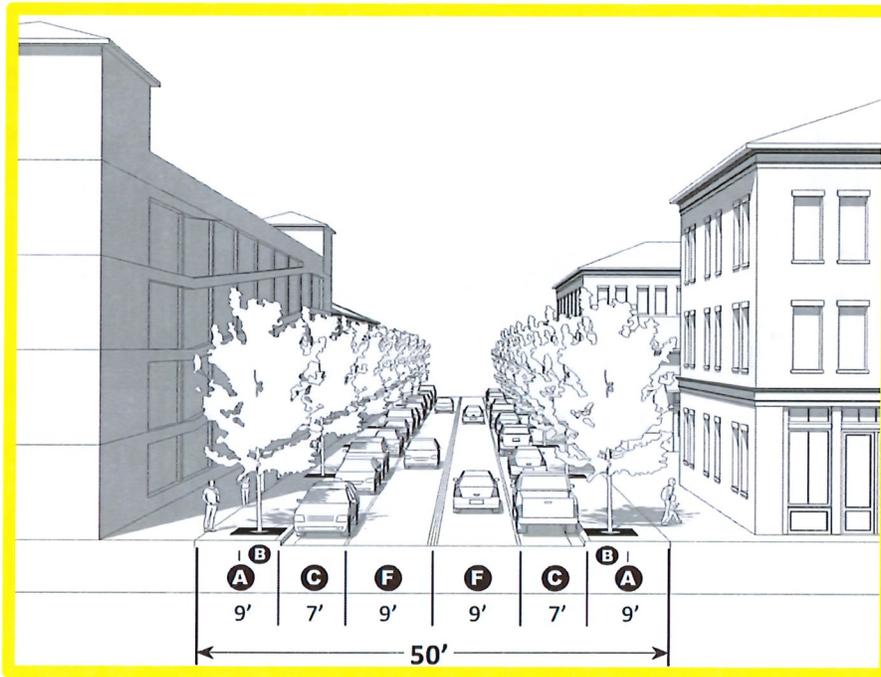
**Table 52 Elements of the ROW**

ROW Elements	Type
(A) Pedestrian Way	Sidewalk
(B) Landscape Area	On Private Property
(C) On-Street Parking Area	Parallel Parking
(D) Pavement Transition	Curb and Gutter
(E) Bicycle Lane	!
(F) Travel Lane	2 Lanes, Two-Way (Vehicular)

**Section 5.07 Secondary (S)**

Figure 70

Thoroughfare Standards



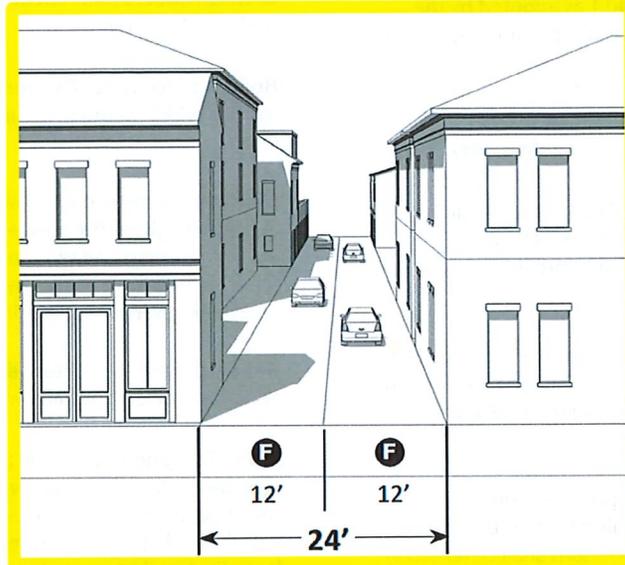
**Table 53 Elements of the ROW**

ROW Elements	Type
Ⓐ Pedestrian Way	Sidewalk
Ⓑ Landscape Area	Tree Grates in Sidewalk
Ⓒ On-Street Parking Area	Parallel Parking
Ⓓ Pavement Transition	Curb and Gutter
Ⓔ Bicycle Lane	:
Ⓕ Travel Lane	2 Lanes, Two-Way (Vehicular)

1. For properties that front on 'Secondary' streets where the existing right-of-way is only 40 feet wide, see special requirements for determining the build-to zone (Sec. 4.04.A) and for mandatory dedication of sidewalk easements (Sec. 4.04.N).

**Section 5.08 Alley (A)**

**Figure 71 Thoroughfare Standards**



**Table 54 Elements of the ROW**

ROW Elements	Type
(A) Pedestrian Way	---
(B) Landscape Area	---
(C) On-Street Parking Area	---
(D) Pavement Transition	---
(E) Bicycle Lane	---
(F) Travel Lane	2 Lanes, Two-Way (Vehicular)

## 30-50.23.6 DEFINITIONS

Terms used throughout this document shall take their commonly accepted meaning unless otherwise defined in Village of Palmetto Bay Code Sec. 30-40.1 as adopted by the Village of Palmetto Bay. Terms requiring interpretation specific to this chapter are as follows:

**Abutting:** A common border or being separated from such common border by a roadway, easement or right-of-way.

**Access:** The place or way by which pedestrians and vehicles have a safe and usable ingress and egress to a site. An unobstructed way or means of approach to provide entry to, or exit from, a property.

**Accessory Structure Building:** An enclosed structure building that is subordinate to and not the main or principal building on a lot or parcel and that is used as a dwelling unit, garage, storage shed or similar use.

**Accommodation Uses:** Facilities that provide short term lodging including: hotels; motels; rooming houses, bed and breakfasts; and similar uses. Accommodations shall be rented in no less than 24 hour (minimum) increments.

**Alley:** An alley is any mid-block public or private thoroughfare for the use of pedestrians or vehicles, 20 feet nor more than thirty 30 feet in width, and is intended for service and only a secondary means of vehicular access to abutting properties.

**Apartment:** A multi-family unit type that is for rent.

**Arcade:** See 'Frontage Types'

**Automotive Uses:** Establishments specializing in the service or repair of automobiles; automobile tire sales and replacement; automobile parts sales and installation; sales of new and used automobiles; and gas stations or other form of stations used for the powering/charging of automobiles.

**Awning:** A flexible cover that projects outward from a building's exterior wall to shield a window, door, sidewalk, or other space below from the elements.

**Balcony:** An unenclosed private open space that typically projects outward from a building's exterior wall.

**Base Element:** A continuous raised platform supporting a building, or a large block of two stories beneath a multi-layer block of a smaller area.

**Bay Window:** A bay window creates interior space that projects outward from a building's exterior wall.

**Bicycle Lane:** An on-road facility specifically dedicated for bicycle use. See Section 5.

**Big Box Retail/Services:** A chain, commercial-retail establishment with gross floor area greater than 20,000 sq. ft.

**Block:** A combination of contiguous building lots, the perimeter of which abuts public street(s), private street(s), easement(s) or dedicated open space(s).

**Building Frontage:** The portion of the building required to be located within along the build-to zone along a street frontage line.

**Building Height:** The vertical distance measured from the average height of the crown of the road, adjacent to the building frontage, to the top of the highest slab for a flat roof. For a pitched roof, the height of the building shall be measured to the highest point of the finished roof.

**Building Type:** A structure defined by the combination of mass, configuration and placement, within a site.

**Build-To Zone Line:** A line zone established for each frontage type by the Street Connectivity Standards and determined by the street it abuts, which is parallel to the block face, along within which a stated percentage of the building frontage shall be built. A build-to zone is analogous to a combination of minimum and maximum setbacks along a street frontage.

**Canopy:** A permanently attached rigid structure that projects outward from a building's exterior wall to shield a window, door, sidewalk, or other space below from the elements. See 'Frontage Types' (4.03) and 'Architectural Features' (4.05)

**Civic Uses:** Uses that are accessible to the public and serves the religious, recreational, educational, cultural and/or governmental needs of the community. Civic Uses include, but are not limited to: convention/meeting halls; private clubs; libraries; police stations; fire stations; post offices; clubhouses; religious buildings; museums; athletic facilities; auditoriums; theaters; other performing arts buildings; and government facilities. The architecture of a civic use building shall reflect its civic nature.

**Clear View:** For commercial-retail uses, unobstructed site line into the units shall be maintained to encourage/generate pedestrian activity/interaction and provide surveillance of the street.

**Colleges and Universities:** Facilities that serve the educational needs of the adult population. This group shall include universities; colleges; commuter colleges; trade schools and other similar uses as determined by the Director.

**Commercial Parking Structure:** Structures that provide parking as the primary on-site use. These facilities offer short-term parking of vehicles and may charge a fee for such use. This group includes; shared parking facilities; shuttle parking facilities; transit park-and-ride facilities and other similar uses as determined by the Director.

**Community Garden:** Open space that is set aside for the cultivation and harvesting of produce such as flowers, fruits and vegetables.

**Condominium:** An ownership version of a multi-family unit types.

**Courtyard House:** An attached single-family dwelling type that contains a court or atrium. The court shall be enclosed on at least three sides by habitable building space and shall provide penetrable openings such as windows and doors between the interior of the dwelling and the court. A courtyard house may occupy the maximum frontage as allowed by building type within a sector.

**Decorative Fence:** A functional fence that is designed with aesthetics in mind and adds to the appearance and design of the property/building. 50% of the square footage of the fence shall be open.

**Density:** The number of residential dwelling units divided by the acreage of a development site. Portions of a development site that are being dedicated for streets, alleys, sidewalk easements, or public open spaces will be counted when computing density b.

**Department:** The Village of Palmetto Bay Planning and Zoning Department.

**Designated Public Open Space:** An outdoor, at grade space including greens, squares and plazas, as indicated on the Public Open Spaces Plan (Figure 4). Designated open spaces may also be set aside by property owners who wish to participate in the Palmetto Bay Downtown Urban Village (DUV) Landscape and Open Spaces Program.

**Director:** The director of the Village of Palmetto Bay Planning and Zoning Department.

**Drive-Through Facilities:** Drive-through facilities associated with retail use, personal service establishment or restaurants.

**Dwelling Unit Type:** One of three (3) multi-family residential unit types: Flat; Loft; or Townhouse; each of which can be classified as an Apartment or Condominium.

**Entertainment Uses:** Uses in this group shall include; nightclubs; coin arcades; movie theaters; performance theaters; radio, movie and/or television studios; billiard halls; skating rinks; bingo halls; piano bars; bowling alleys and similar uses as determined by the Director. The sale of alcohol shall be ancillary to the primary entertainment use.

**Entrance (Main):** The principal point of access of pedestrians to a building. In the support of ped/bike activity, the main or primary entrance s are shall be oriented to the street frontage rather than to the parking.

**Flat:** a single (1) story dwelling unit, occupied by one (1) single family.

**Fenestration:** Design and position of windows and other structural openings within a facade.

**Flexible Block Building:** See 'Building Type'

**Flex Building:** See 'Building Type'

**Floor Plate:** The shape and size of any given floor of a building. The floorplate that touches the ground is called the footprint, after the shape that it leaves on the land.

**Food and Beverage Establishments:** Uses in this group shall include; full service restaurants; fast food restaurants; bars and pubs; and similar uses as determined by the Director.

**Forecourt:** A small private open space that is open to the sidewalk and bounded on two or three sides by the exterior walls of buildings. See 'Frontage Types' (4.03) and 'Architectural Features' (4.05).

**Frontage Type:** This code establishes various frontage types which describe different approaches for how a building's entrance door and façade are configured along the street. See Sec. 4.02. The architectural element that serves to transition from the public right-of-way to the entrance of a building type. Frontage type, when combine with the public realm and building type create the desired streetscape.

**Front Property Line:** The property line that runs parallel to the highest ranking street as identified in the Street Hierarchy Plan.

**Gallery:** See 'Frontage Types' (4.03) and 'Architectural Features' (4.05).

**General Retail/Personal Services:** Establishments that provide goods and services geared toward an individual consumer. This group shall include businesses such as: banks; beauty parlors; adult day care; bakeries; bookstores; apparel stores; grocery stores; pharmacies; health clubs; gift shops; indoor pet care/boarding and indoor kennels (soundproof and air conditioned required); vehicle retail showrooms; and similar uses as determined by the Director. This group shall also include schools offering instruction in dance, music, martial arts and similar activities as determined by the Director.

**Green:** An outdoor open space that shall not be hard surfaced for more than 20% of the area exclusive of dedicated streets. The landscape shall consist of primarily lawn, trees and garden structures.

**Green roof:** A green roof is the roof of a building that is covered with vegetation and/or ponds that provide insulation and absorb rainwater.

**Group Residential Home:** A dwelling unit, licensed by the State of Florida Department of Children and Families that serves resident clients and provides a living environment for unrelated residents who operate as a functional equivalent of a family. Uses in this group shall include: nursing homes; assisted living facilities; congregate living facilities; foster care facilities; community residential homes; group homes; or other similar uses as determined by the Director. Services that support the daily operation of group homes are permitted and shall include dining facilities, doctor's offices, nurse's offices, staff offices, recreation rooms and similar facilities and services.

**Habitable Building Space:** Air-conditioned space, the use of which involves regular human presence. Habitable space shall not include areas devoted to parking, storage, service room, private spaces or corridors.

**Horizontal Projection:** The distance in which an architectural element can project off of the facade of a building.

**Landscape Area:** Area within the right-of-way that identifies the type of landscape finishing applied to the ground, between the pedestrian way and pavement transition. The landscape area is also called a planting strip or tree lawn. See Section 5.

**Liner Building:** Building configuration, shallow in depth, no less than 20' and occupied with habitable space to screen a parking garage or surface parking lot from the public realm.

**Loft:** a double story height dwelling unit with or without mezzanine, occupied by one (1) single family.

**Lot Width:** The length of a parcel along the primary frontage. See Sec. 4.04.A.

**Lot Depth:** The length of a parcel along the interior side lot line. See Sec. 4.04.A. or on the secondary frontage.

**Maximum Base Density:** The maximum allowable density residential dwelling units/acre permitted on a site without acquiring bonus applying density (see Sec. 3.01). unit increases from the Village of Palmetto Bay's Reserve Units Pool and/or through TDR.

**Maximum Density with Bonus:** The maximum attainable density on a site using potential density bonuses (see Secs. 3.01 and 1.05.C).

**Maximum Building Height:** The maximum allowable height of any building, measured in stories, without acquiring bonus stories (see Secs. 3.01 and 4.04.H).

**Maximum Building Height with Bonus:** The maximum attainable permitted height of any building, measured in stories, with any applicable bonus(es) stories.

**Median Area:** Landscaped area within the right-of-way that can accommodate landscaping in between travel lanes on a boulevard. See Section 5.

**Mezzanine:** An intermediate floor, between stories of a building, that does not count against the number of stories, so long as it is no bigger than 40% 30% of the area of the main story below.

**Municipal Recreation Facility:** A building, playground or park, owned/operated by the Village, County, State or the Federal Government.

**Mixed-Use Building:** A building that includes a combination of residential and non-residential uses or two different non-residential uses, vertically integrated, such as: retail/office uses at the ground floor and office or residential on the floors above.

**Neighborhood Proprietor Commercial/Retail/and Office and Services:** Small scale, non-chain, non-franchised businesses, operated on the first floor of a building type, by the owner, such as: hobby shops, tailor or beauty shops, photography studios, bakery cafe shops or other similar uses/offices, as determined by the Director. The use shall specifically preclude the use of large machinery or the creation of noxious odors/ambient noise levels that exceed the levels for that area, as provided in the Village's noise ordinance and the sale of alcohol shall be ancillary to the primary uses permitted.

**Office Uses:** Facilities used primarily for the business of professionals with only limited transactions occurring on-site. This group shall include offices for: accountants; architect; appraisers; attorneys; consulates; financial firms; insurance adjusters; realtors; medical offices and other uses as determined by the Director.

**Off-site:** The outside limits of the area encompassed by the lot where a permitted activity is conducted.

**Off-site private parking:** A parking structure, or surface parking lot or on-street parking located on a development privately-owned parcel or public right of way other than the parcel being developed. See Sec. 4.04.C.3.

**Off-site public parking:** Publicly-available parking structures, surface parking lots, and on-street parking spaces. See Sec. 4.04.C.4.

**On-Site Parking:** Any parking structure, surface parking lot, tuck under parking, private parking garage or surface parking pad within the property lines and applicable build-to lines on private property. See Sec. 4.04.C.2.

**On-Street Parking:** Parking spaces on a private or public right-of-way street. On-street parking spaces may shall be head-in, diagonal or parallel parking, according to the street type parameters for the right-of-way.

**Parking Area:** Area within the right-of-way that includes on-street parking. See Section 5. Also, the parking area will serve as to transition and protect the pedestrian way from the travel lanes.

**Parking Setback:** Minimum distance between lot lines and surface parking. See Sec. 4.04.C.6.

**Parking Structure:** A multi-level building suitable for parking cars, publicly accessible building with the primary use to accommodate the parking requirements for both residential and non-residential uses. See Sec. 4.04.C.5.

**Pavement Transition:** Transition between the Pedestrian way and travel lanes, within the right-of-way. Can be curb and gutter or swale, as identified in thoroughfare standards in Section 5.

**Pedestrian Paseo:** Pedestrian-only passage meant to break up the mass of large buildings a mid-block locations, allowing access to the lot behind buildings and connecting directly from the network of sidewalks and open spaces.

**Pedestrian Way:** Area within the right of way that is designated as the primary area for pedestrian movement. See Section 5.

**Porch:** An elevated roofed entrance to a building that is large enough to function as private outdoor living space. See 'Frontage Types' (4.03) and 'Architectural Features' (4.05)

**Plaza:** An outdoor open space fronted by mixed-use retail and office uses. A minimum of 50% and a maximum of 75% of the plaza's area, exclusive of dedicated streets, shall be hard surfaced. The landscape of plazas shall consist primarily of hard-surfaced areas, permanent architecture or water features and trees that are placed in an orderly fashion.

**Premium Transit Station:** A public transportation station that is served by modes of public transportation such as heavy rail, light rail, or at a minimum, express bus rapid transit routes on dedicated rights-of-way, and satellite terminals with direct service to and from such station.

**Primary Frontage:** For property with multiple street frontages, the edge of the property that fronts the highest-priority ranking street type as identified in the Street Type Hierarchy Plan, Figure 5.

**Private Open Space:** Any form of courtyards, balconies, terraces, lawns, community gardens, amenity recreation decks and landscaped roof terraces/gardens on buildings/parking structures, and in addition, the area of any covered patio, gazebo or other roofed shade structures shall count towards meeting the private open space requirements, as long as two (2) sides are opened to the outside.

**Private Parking Garage:** A private parking structure that can accommodate parking requirements for a single family residential uses such as single family houses, or rowhouse building types, located at the rear of the lot, away from the primary street frontage.

**Receiver Site:** The designated lot (or lots) to which residential development unit rights are transferred from a sender site. See Sec. 1.05.

**Reserve Commercial Square Footage:** The developable commercial square footage which is available for allocation by the Village, which is in excess of the base square footage identified by the Comprehensive Plan.

**Reserve Residential Units:** The residential units identified within the Comprehensive Plan, which are available for allocation by the Village, beyond that permitted by the Base Maximum Base Density within a given sector of the DUV, Downtown zoning district. See Sec. 1.05.

**Rowhouse Building:** See 'Building Type'

**Sender site:** The designated lot (or lots) that sends/transfers residential development unit rights, to a lot identified as the receiver site. See Sec. 1.05.

**Setback:** The minimum (and, where specified, the maximum) horizontal distance between the street, rear or side lines of the

lot and the front, rear or side edges of the building. When two or more lots under one ownership are used, the exterior property line so grouped shall be used in determining setbacks.

**Single Family House Building:** See 'Building Type'

**Square:** An outdoor open space that shall be flanked by streets on at least three (3) sides and shall not be hard-surfaced for more than 50% or the area exclusive of dedicated streets. Squares shall be landscaped primarily of hard-surfaced walks, lawns and trees that are placed in an orderly fashion.

**Stacked Apartment Building:** See 'Building Type'

**Stoop:** A staircase and elevated entrance platform leading to the main entrance of a building. See 'Frontage Types' (4.03) and 'Architectural Features' (4.05)

**Storefront:** See 'Frontage Types' (4.03) and 'Architectural Features' (4.05)

**Story:** The habitable space between finished floor and finished ceiling of a building.

**Street:** Any thoroughfare, such as a public street, private street, or easement that affords primary access to an abutting property.

**Street Frontage:** The edge of the property that abuts a street. See Primary Frontage

**Street Network:** A system of intersecting and interconnecting streets and service roads.

**Surface Parking:** A one-layer parking lot at the ground level that accommodates parking requirements for both residential and non-residential uses.

**Surface Parking Pad:** a private, surfaced parking lot that accommodates the parking requirements for single-family residential uses and located at the rear of the lot, or away from primary street frontage.

**Street Vista:** A view through or along a street centerline terminating with the view of a significant visual composition of an architectural structure or element.

**Townhouse:** a two (2) or more-story dwelling unit, occupied by one (1) single family.

**Transfer of development rights (TDR):** The procedure by which development rights to construct residential units may be transferred from one lot within the Downtown Urban Village (DUV) zoning district to another lot within the Downtown Urban Village (DUV) zoning district. See Sec. 1.05.

**Transparency:** The amount of transparent window glass or other openings in a building's facade along a street frontage, relative to the overall surface area of the facade. See Sec. 4.05.A.

**Travel Lane:** Area within the right-of-way dedicated for motor vehicles that can also be shared with bicyclists, as identified in thoroughfare standards. See Section 5.

**Tuck Under Parking:** Parking spaces integrated on the surface level of a site, where habitable floor area building program cantilevereds on the floors above.

**Thoroughfare Standards:** Design criteria that establish the required elements for the placement and size of the following: sidewalks; curbs and gutters; parking; medians; bike lanes; traffic lanes; street trees and landscaping. See Section 5.

**Vertical Clearance (Ground):** An area measured from the finished sidewalk, which shall be kept clear of all objects to the prescribed height for pedestrians to pass under.

**Vertical Proportion:** a proportion that is at a minimum the same width that it is tall. Preferably the height of the subject is greater than the width.

**Village Manager:** The Village Manager as appointed by the Village Council, or his/her designee.

## Appendix

### How to use this document?

The following steps indicate, in general, the intended use of this document, as follows:

1. Identify development site on all regulating plans. See Sec.2.02-2.06

With a survey of the development site:

2. Identify Street Types in Sec.5.01
  - (a) Verify and Identify any new streets in Sec.2.03 applicable to the site
  - (b) Set aside applicable street sections identified in step 2. See Sec.2.05 A-E.
  - (c) Identify Primary Frontage in Sec.2.05
3. Establish build-to-lines according to the street type parameters that are identified and set aside in Step 2.
  - (a) Yields buildable area within development site
4. Identify applicable sector for development site. See Sec.2.02.
  - (a) set aside urban design standards applicable to sector identified for development site. See Sec.3.02 A-D.
5. Verify permitted uses within applicable sector. See Sec.2.07
6. Verify the permitted building types within applicable sector. See Table 30.
  - (a) set aside general development parameters applicable to all buildings. See Sec.4.03.
7. Identify building type intended to be developed within site Sec.4.02
  - (a) set aside the specific development parameters by building type, identified in step 7. See Sec.4.04 A-E.
8. Verify permitted frontage types for individual buildings within applicable sector. See Sec.4.04 A-E 7(b).
9. Identify frontage type intended to be applied to individual building type identified. See Sec.4.05 A-E
  - (a) set aside specific parameters by frontage type
10. Design and develop site plans and architecture subject to the standards and parameters set aside.